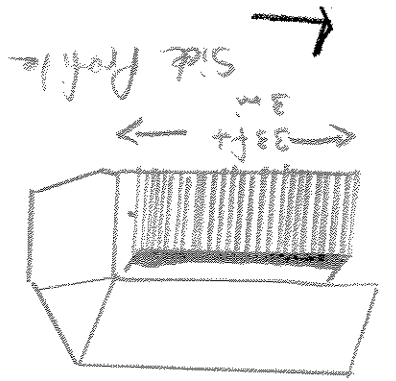


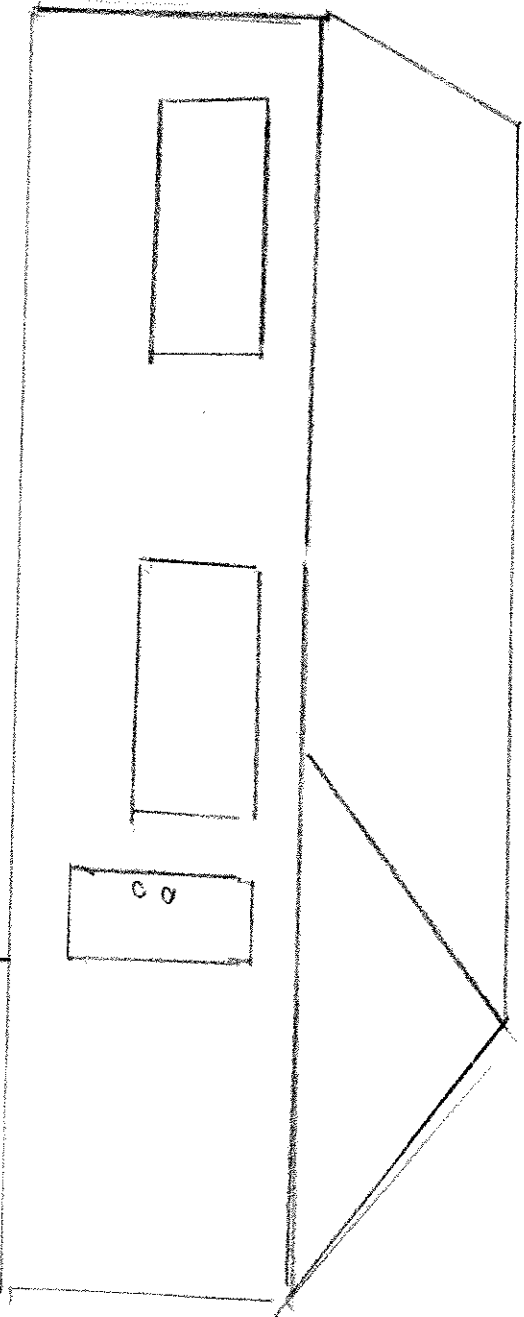
LOE 06-01



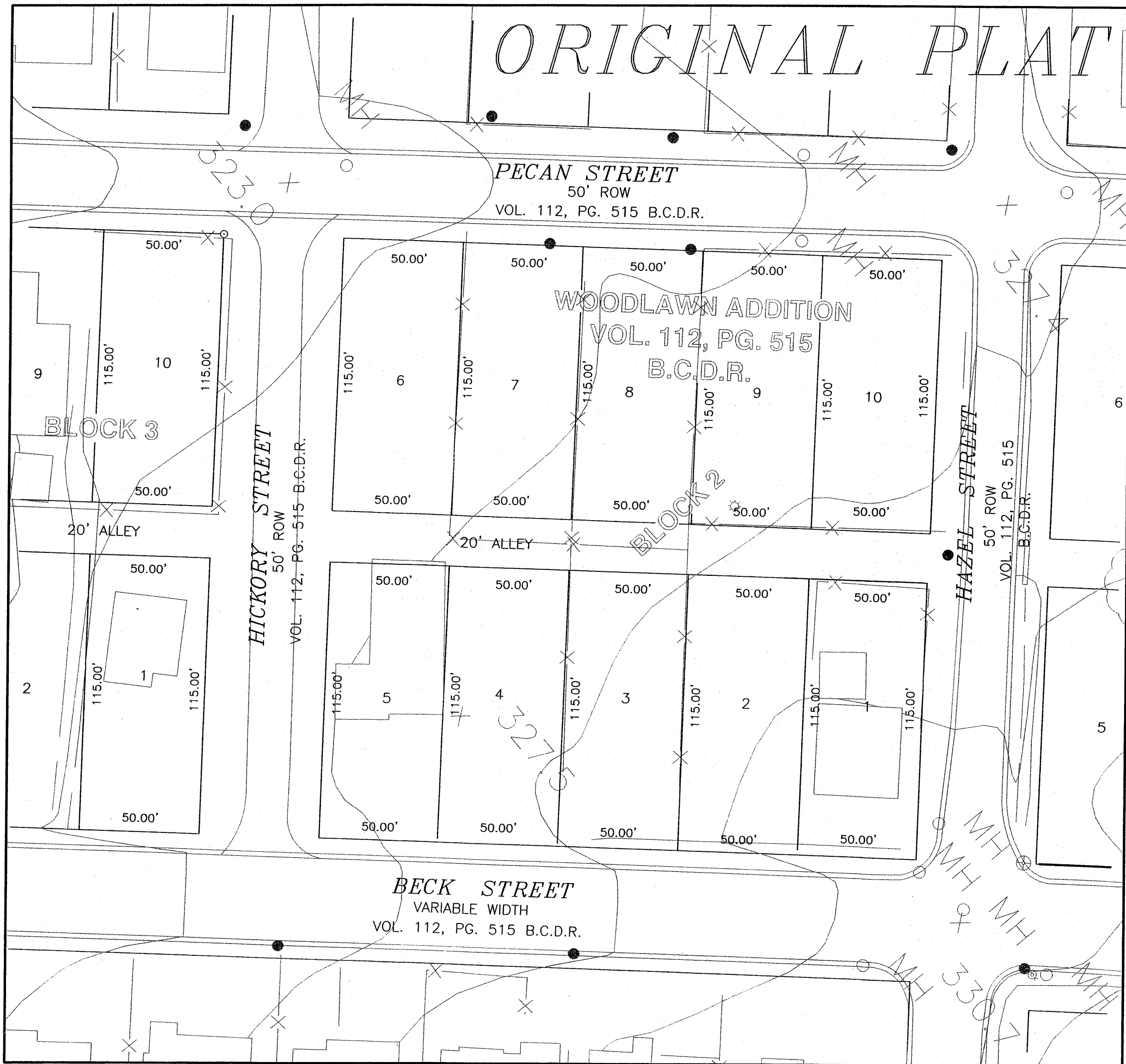
width varies

6ft
3m
height

GARAGE



2511 Willowbrook



CERTIFICATE OF OWNERSHIP AND DEDICATION

I, (We), _____, Owner(s) of the land shown on this plat, designated herein as Lots 1-10, Block 2 and Lots 1 and 10, Block 3, Woodlawn Addition, City of Bryan, Brazos County, Texas, in whose names are subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains easements and public places thereon shown for the purpose and consideration therein expressed.

STATE OF TEXAS
COUNTY OF BRAZOS
Before me, the undersigned authority, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.
Given under my hand and seal this _____ day of _____, 1998

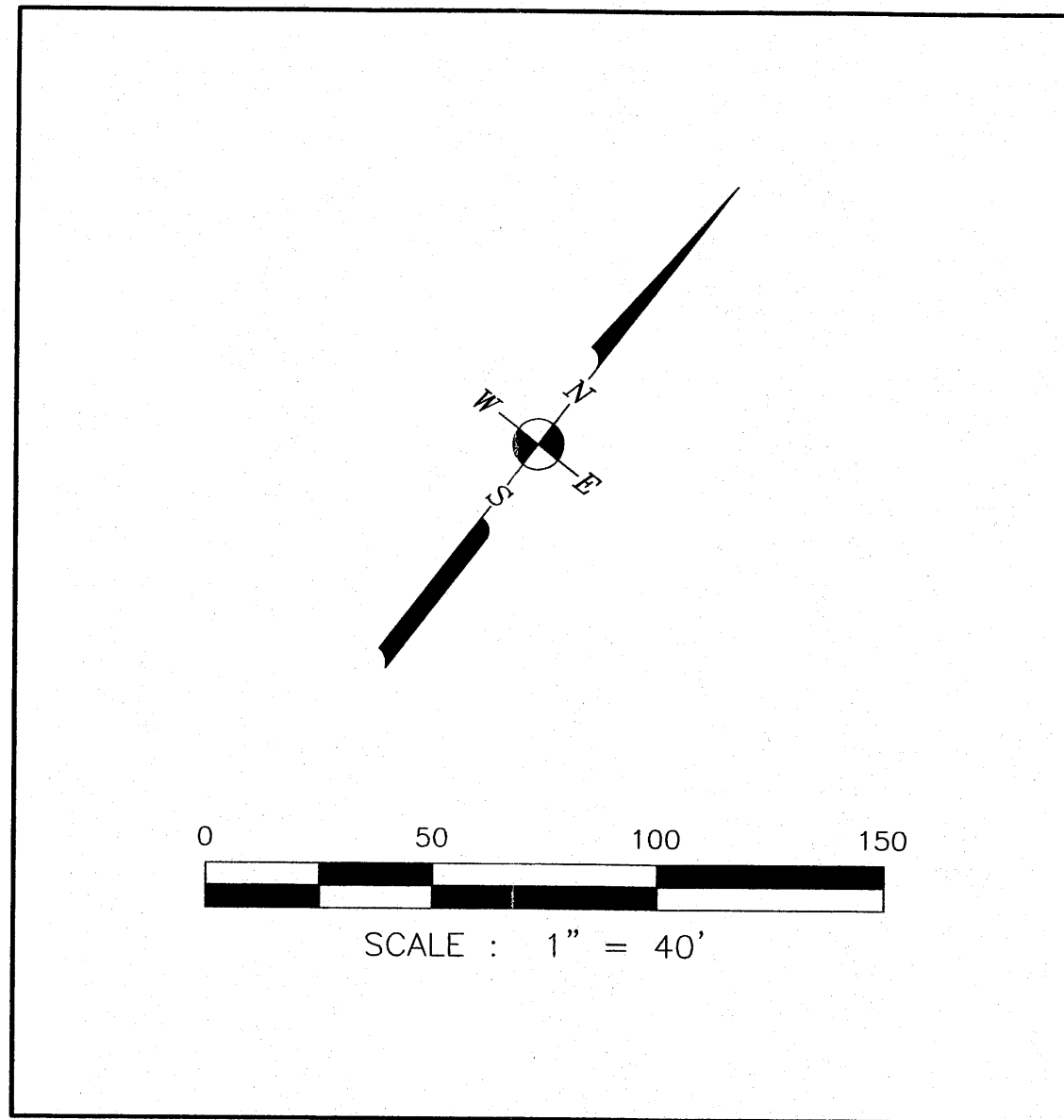
Notary Public In and For Brazos County, Texas

APPROVAL OF THE DEVELOPMENT ENGINEER AND PLANNING ADMINISTRATOR

We, the undersigned Development Engineer and Planning Administrator of the City of Bryan, Texas, do hereby certify that this plat is in compliance with the appropriate codes and ordinances of the City of Bryan, Texas.

Development Engineer

Planning Administrator



NOTES:
1. 3/8 INCH IRON RODS WITH PLASTIC CAPS STAMPED "LANDTECH CONSULTANTS" UNLESS OTHERWISE NOTED.
2. BEARINGS ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NORTH AMERICAN DATUM OF 1983, 1993 ADJUSTMENT.
3. FLOOD ZONE NOTE HERE.

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N47°58'24"W	10.00'
L2	N42°01'36"E	50.00'
L3	S47°58'24"E	10.00'
L4	N42°01'36"W	50.00'
L5	N42°01'36"E	60.00'
L6	S42°01'36"W	60.00'
L7	N42°01'36"E	65.00'
L8	N42°01'36"W	65.00'
L9	N42°01'36"E	150.00'
L10	S42°01'36"W	150.00'
L11	N42°01'36"E	125.00'
L12	N42°01'36"W	125.00'
L13	N42°01'36"E	40.00'
L14	S42°01'36"W	40.00'
L15	N42°01'36"E	60.00'
L16	N42°01'36"W	60.00'

CERTIFICATION OF THE COUNTY CLERK

STATE OF TEXAS
COUNTY OF BRAZOS
I, Mary Ann Ward, County Clerk in and for said County, do hereby certify that this plat together with its certificates of authentication was filed for record in my office the _____ day of _____, 1997, in the Official Public Records of Brazos County Texas, in Volume _____, Page _____.

County Clerk

CERTIFICATION OF THE PLANNING AND ZONING CHAIRMAN

I, _____, Chairman of the City Planning and Zoning Commission of the City of Bryan, State of Texas, hereby certify that the attached plat was duly filed for approval with the City Planning and Zoning Commission of the City of Bryan on the _____ day of _____, 1997 by said Commission.

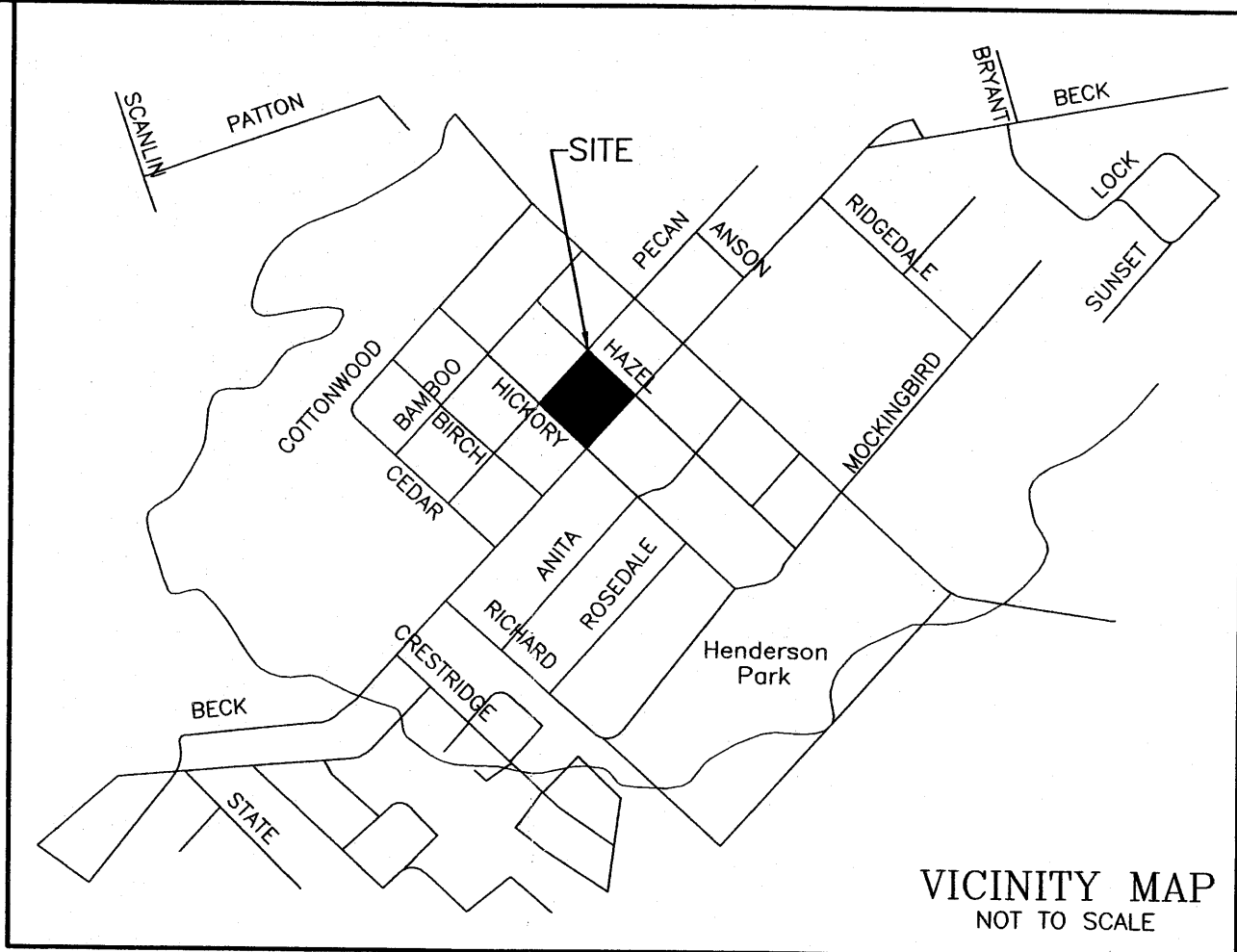
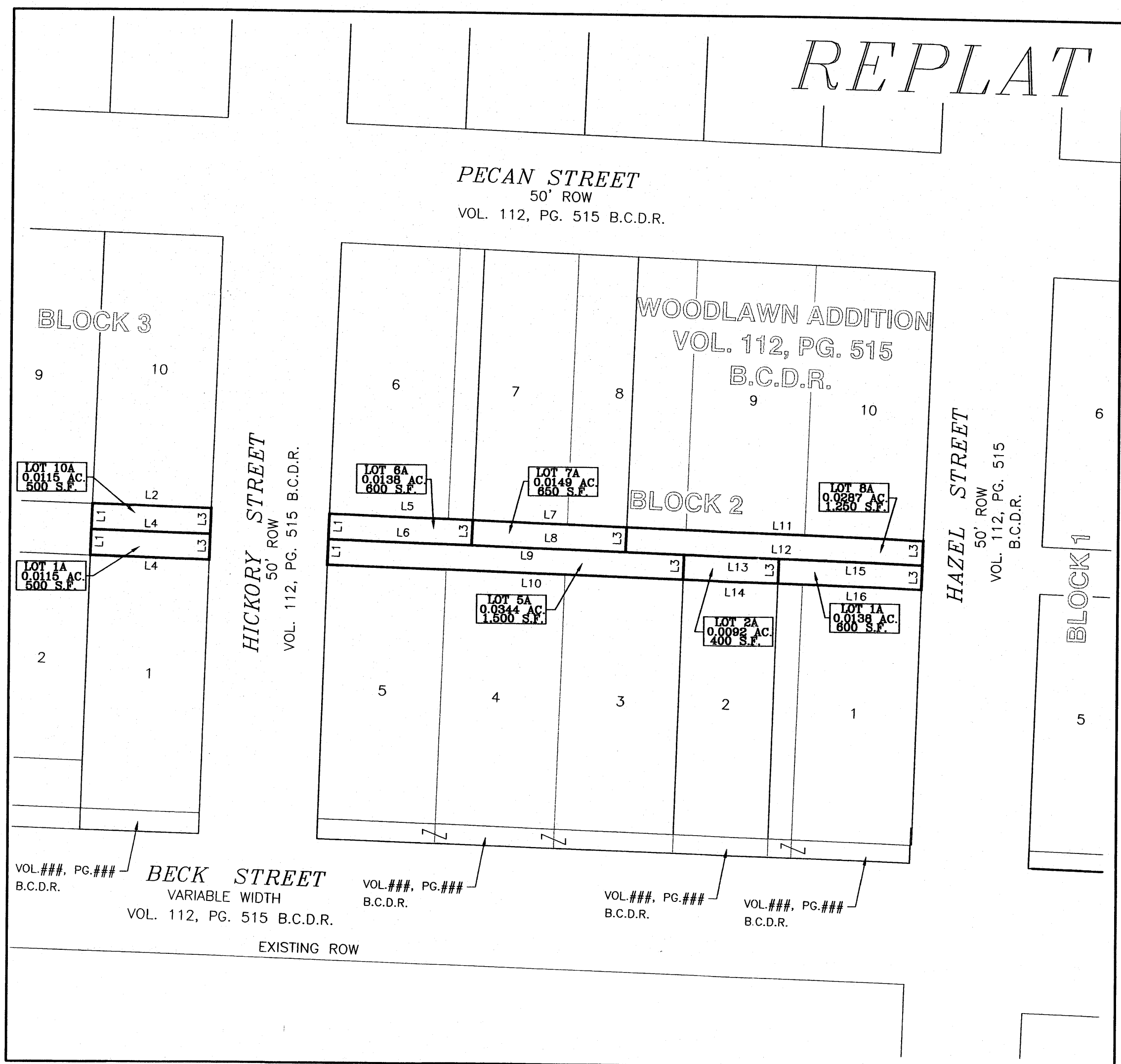
Chairman, City Planning and Zoning Commission

CERTIFICATION OF SURVEYOR

STATE OF TEXAS
COUNTY OF BRAZOS

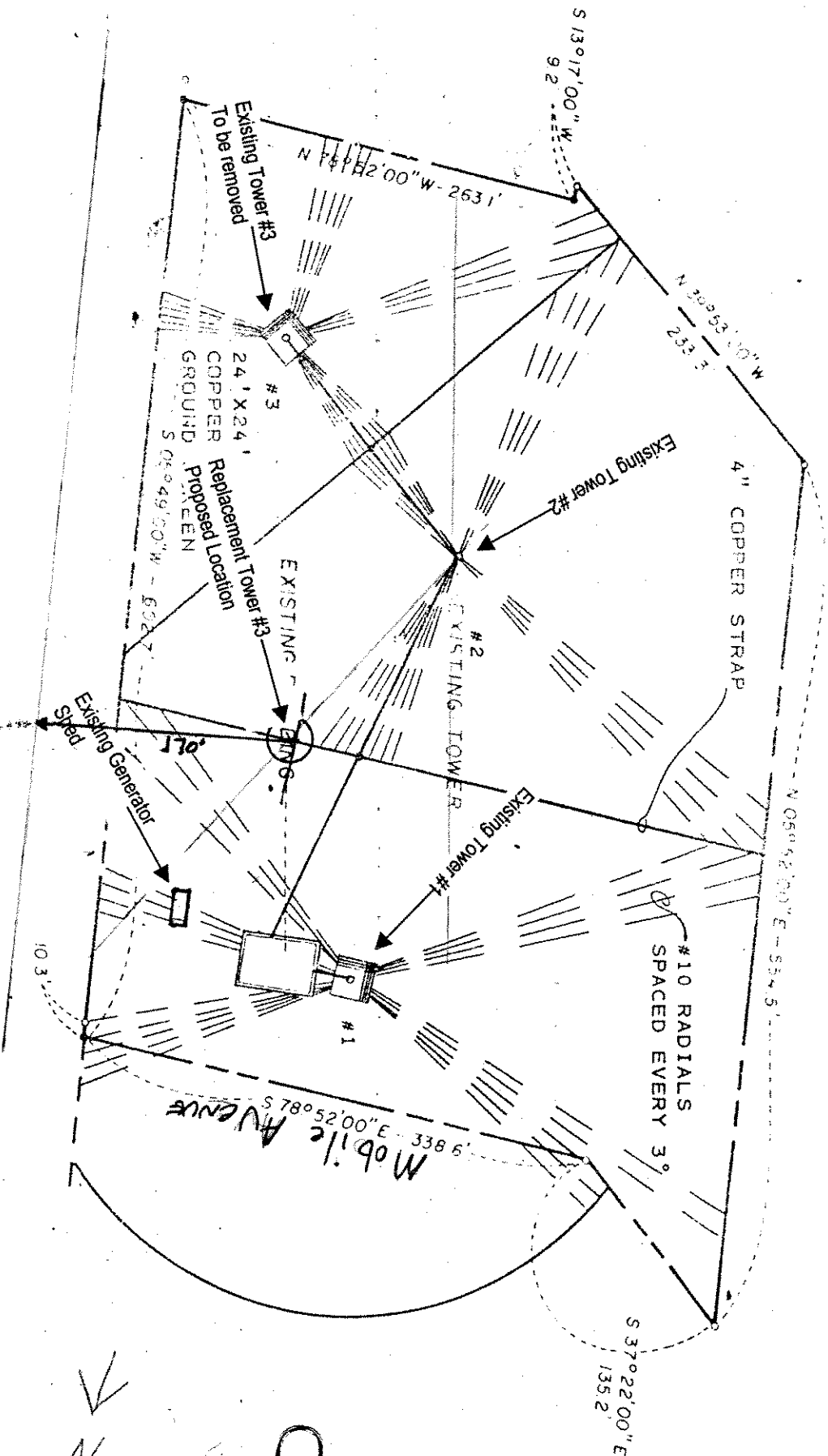
I, Douglas W. Turner, a Registered Professional Land Surveyor of the State of Texas do hereby certify that this plat was prepared from an actual survey of the property.

Douglas W. Turner, R.P.L.S.



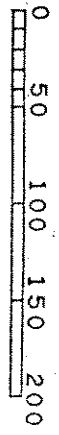
REPLAT OF LOTS 1-10, BLOCK 2 AND LOTS 1 & 10, BLOCK 3 OF WOODLAWN ADDITION, VOLUME 112, PAGE 515 BRAZOS COUNTY DEED RECORDS

LANDTECH CONSULTANTS, INC.
Civil Engineering • Land Surveying
2627 North Loop West
Suite 224
Houston, Texas 77008
Tel. (713) 861-7068 Fax (713) 861-4131
DATE: June 24, 2006
SCALE: 1" = 50'
DRAWING No.: 0000
JOB No.: 0410168
SHEET No.: 1 OF 1



TRUE NORTH AS DETERMINED BY OBSERVATION ON POLARIS FEB. 13, 1976

SCALE: 1"=100'



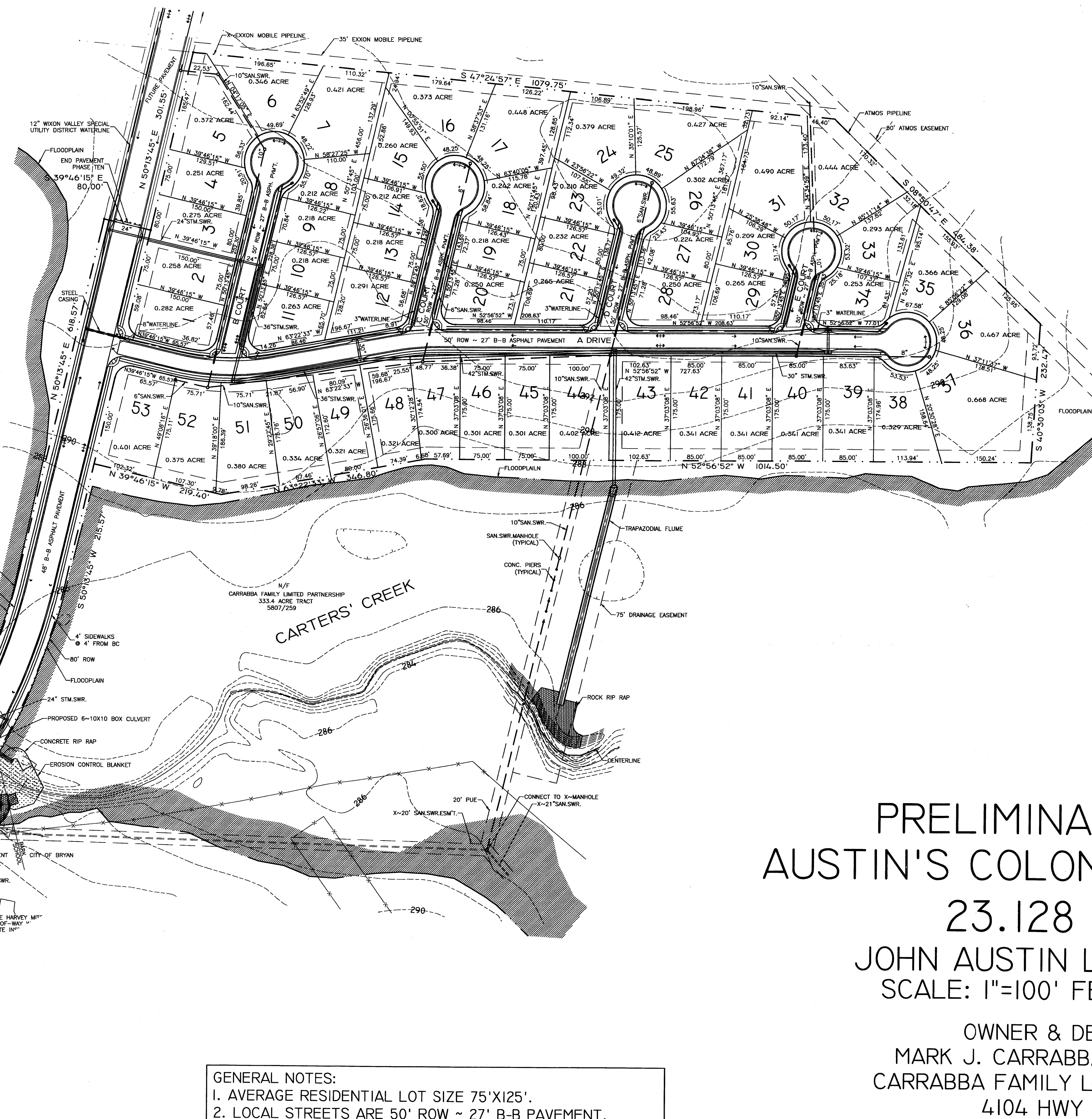
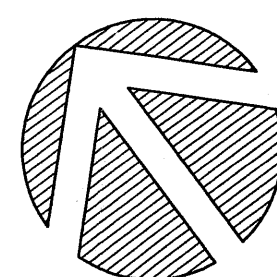
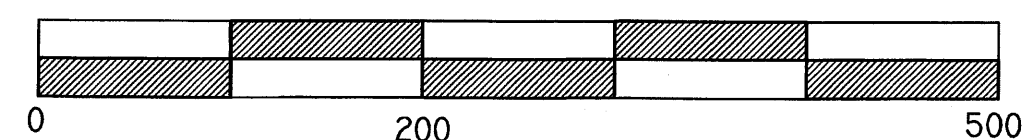
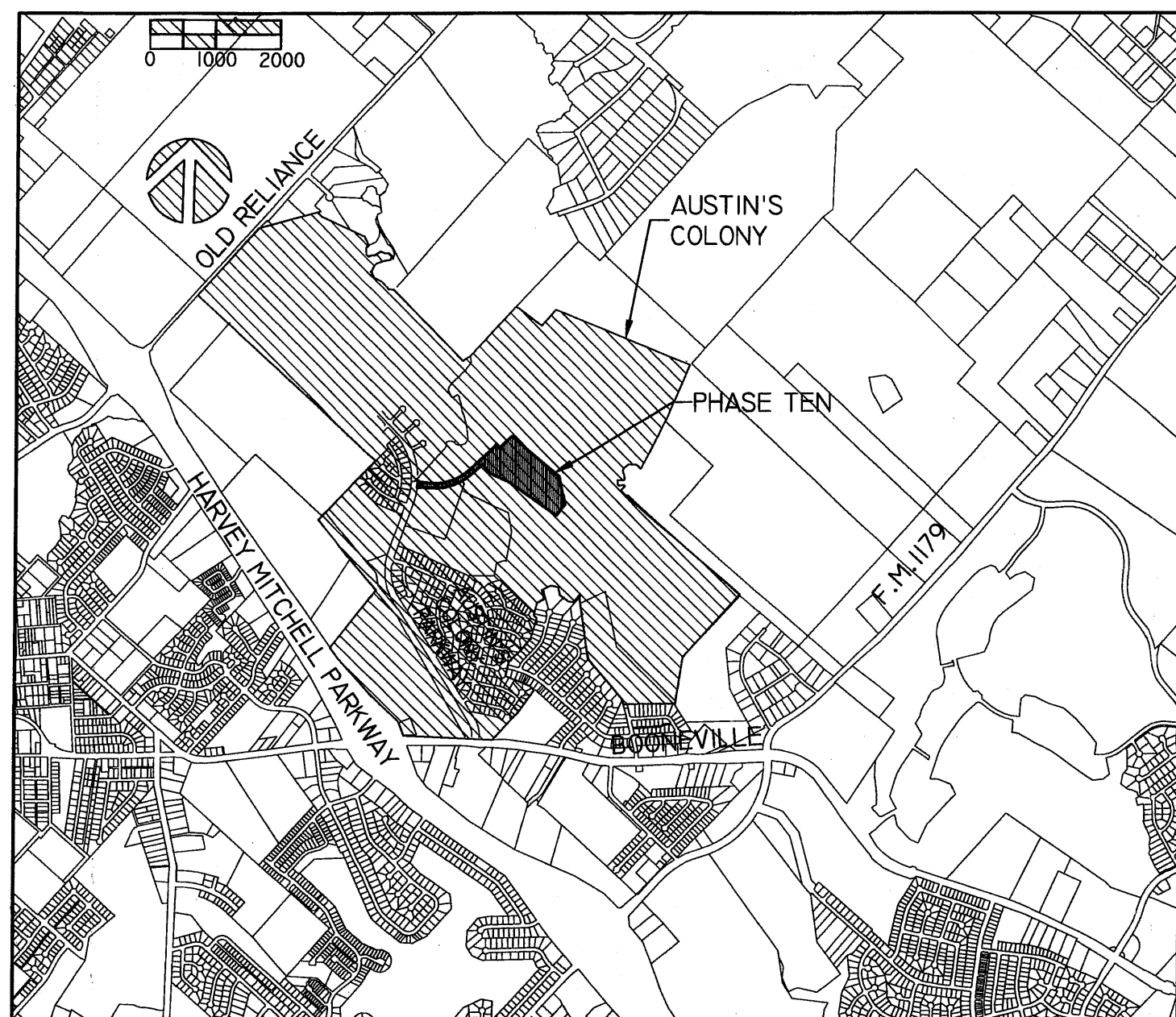
BASE MAP BY HOLLIGAN ENGINEERING
BRYAN, TEXAS

FIGURE 2

PLOT PLAN

RADIO BRYAN, INC.
COLLEGE STATION, TEXAS

CU06-02



- GENERAL NOTES:
1. AVERAGE RESIDENTIAL LOT SIZE 75'X125'.
 2. LOCAL STREETS ARE 50' ROW ~ 27' B-B PAVEMENT.
 3. AVERAGE LOT DENSITY OF 2.8 LOTS PER ACRE.
 4. BASIS OF BEARING IS GRID NORTH FROM CITY OF BRYAN.
 5. SETBACK LINES WILL COMPLY WITH CITY ORDINANCE.
 6. AVERAGE TRIP GENERATION PER DWELLING UNIT IS 9.55 TRIPS PER DAY.

PRELIMINARY PLAN AUSTIN'S COLONY PHASE TEN 23.128 ACRES JOHN AUSTIN LEAGUE A-2 SCALE: 1"=100' FEBRUARY 7, 2006

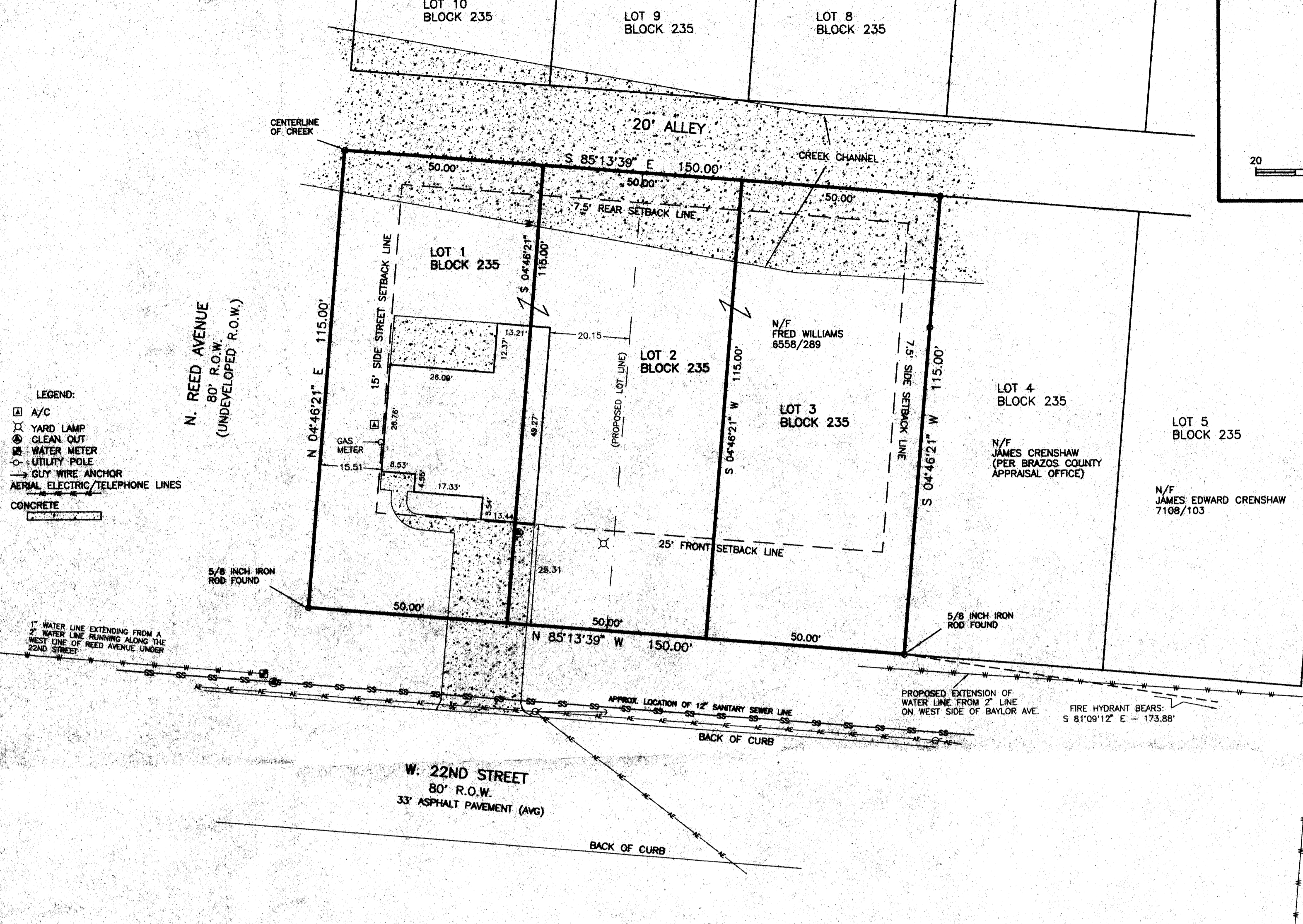
OWNER & DEVELOPER:
MARK J. CARRABBA, VICE PRESIDENT
CARRABBA FAMILY LIMITED PARTNERSHIP
4104 HWY 21 EAST
BRYAN, TX 77802
979-778-8850

PREPARED BY:
HESTER ENGINEERING COMPANY
7607 EASTMARK DRIVE, SUITE 253-B
COLLEGE STATION, TX 77840
979-693-1100

Received
FEB 7 2006
Hester Engineering Company

PP06-02

ORIGINAL PLAT



CERTIFICATE OF OWNERSHIP AND DEDICATION

STATE OF TEXAS
COUNTY OF BRAZOS

I (We) _____ owner(s) and developer(s) of the land shown on this plat, and designated herein as Lots 1R and 3R, Block 235, Bryan Original Townsite to the City of Bryan, Texas, and whose name(s) is/are subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, easements, and public places thereon shown for the purpose and consideration therein expressed.

Owner(s) _____

STATE OF TEXAS
COUNTY OF BRAZOS

Before me, the undersigned authority, on this day personally appeared _____ known to me to be the person(s) whose name(s) is/are subscribed to the foregoing instrument, and acknowledged to me that he/she/they executed the same for the purpose and consideration therein stated.

Given under my hand and seal on this _____ day of _____, 2006.

Notary Public, Brazos County, Texas

CERTIFICATE OF SURVEYOR

I, Brad Kerr, Registered Public Surveyor No. 4502, in the State of Texas, hereby certify that this plat is true and correct and was prepared from an actual survey of the property and that property markers and monuments were placed under my supervision on the ground.

Brad Kerr, R.P.L.S. No. 4502

APPROVAL OF PLANNING AND ZONING COMMISSION

I, _____, Chairman of the Planning and Zoning Commission of the City of Bryan, hereby certify that the attached plat was duly approved by the Commission on the _____ day of _____, 2006.

Chairman

CERTIFICATION OF PLANNING ADMINISTRATOR

I, the undersigned, Planning Administrator of the City of Bryan, hereby certify that the plat conforms to the City master plan, major street plan, land use plan and the standards and specifications set forth in this Ordinance.

Planning Administrator, City of Bryan

APPROVAL OF THE CITY ENGINEER

I, the undersigned, City Engineer of the City of Bryan, hereby certify that this plat is in compliance with the appropriate codes and ordinances of the City of Bryan.

City Engineer, City of Bryan

CERTIFICATE OF THE COUNTY CLERK

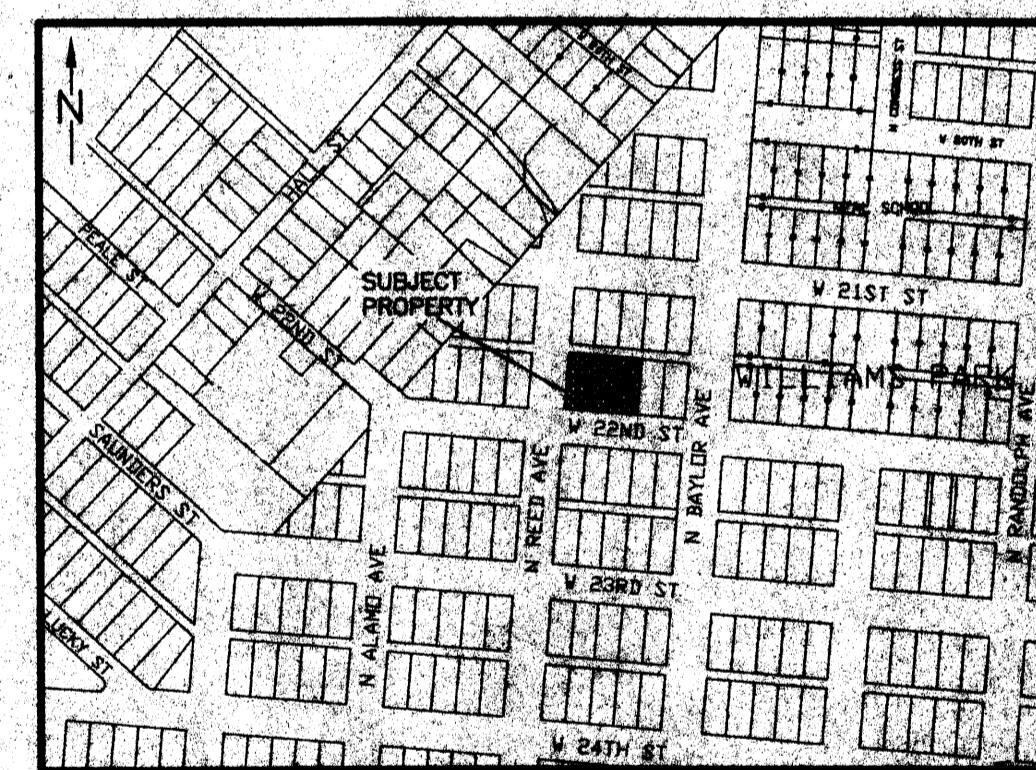
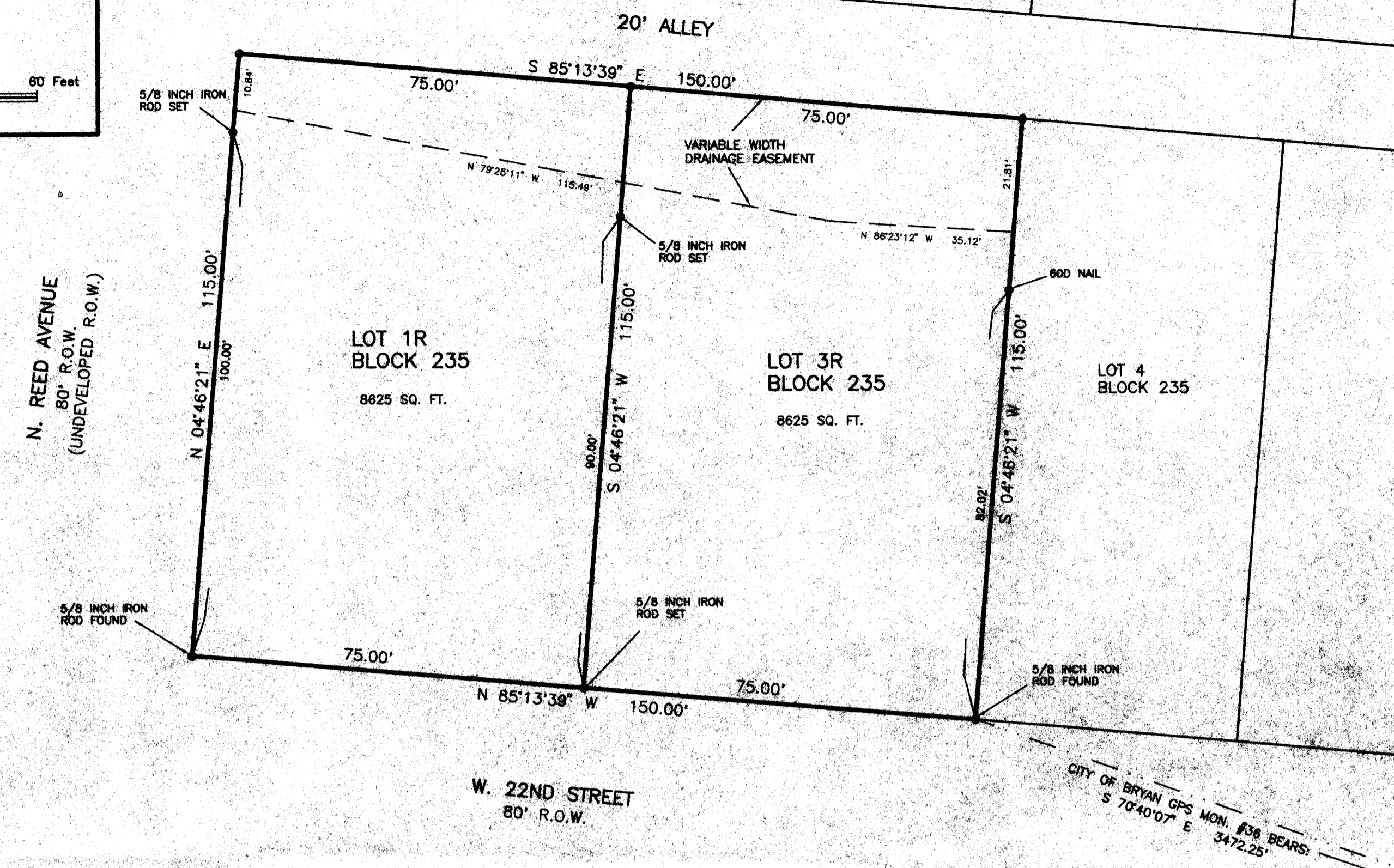
STATE OF TEXAS
COUNTY OF BRAZOS

I, _____, County Clerk, in and for said county, do hereby certify that this plat together with its certificates of authentication was filed for record in my office on the day of _____, 2006, in the Official Public Records of Brazos County, Texas, in Volume _____, Page _____.

County Clerk
Brazos County, Texas

SCALE: 1" = 20'

REPLAT



GENERAL NOTES

1. BEARING SYSTEM SHOWN HEREON IS BASED ON GRID NORTH AS ESTABLISHED FROM GPS OBSERVATION.
2. SUBJECT PROPERTY DOES NOT LIE WITHIN A DESIGNATED FLOOD PLAIN AREA ACCORDING TO THE F.I.R.M. MAPS, COMMUNITY PANEL NO. 480410D133 C, DATED JULY 2, 1992.
3. BUILDING SETBACK LINES TO BE IN ACCORDANCE WITH CITY OF BRYAN S.D.R.O.
4. ALL PROPERTY CORNER MONUMENTED AS SHOWN.
5. LOCATION OF SEWER AND WATER LINES ARE APPROXIMATE.
6. ENTIRE BLOCK 235 IS CURRENTLY ZONED "SFS".

REPLAT

OF
LOTS 1-2, BLOCK 235
BRYAN ORIGINAL TOWNSITE
VOLUME H, PAGE 721
BRYAN, BRAZOS COUNTY, TEXAS

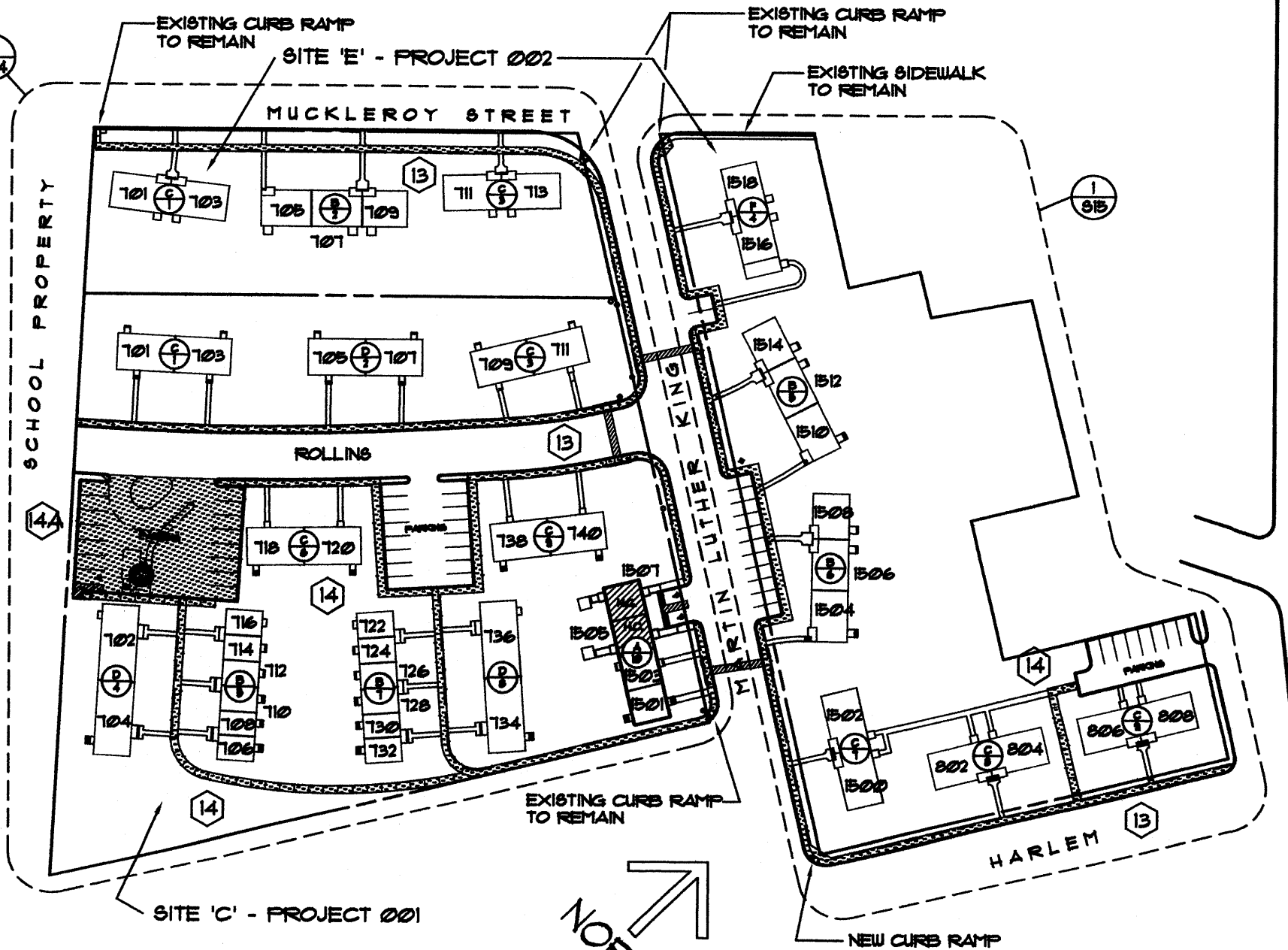
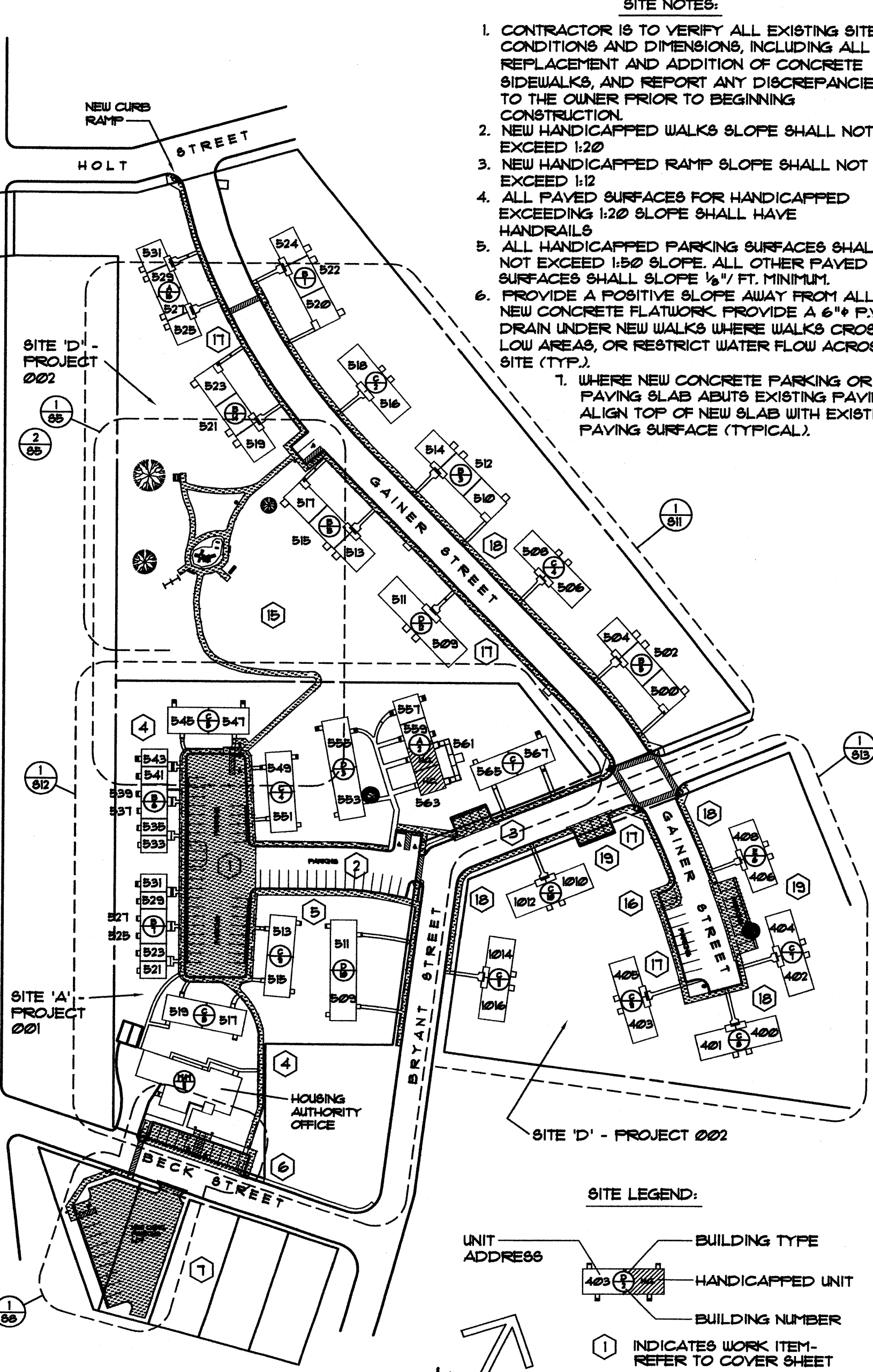
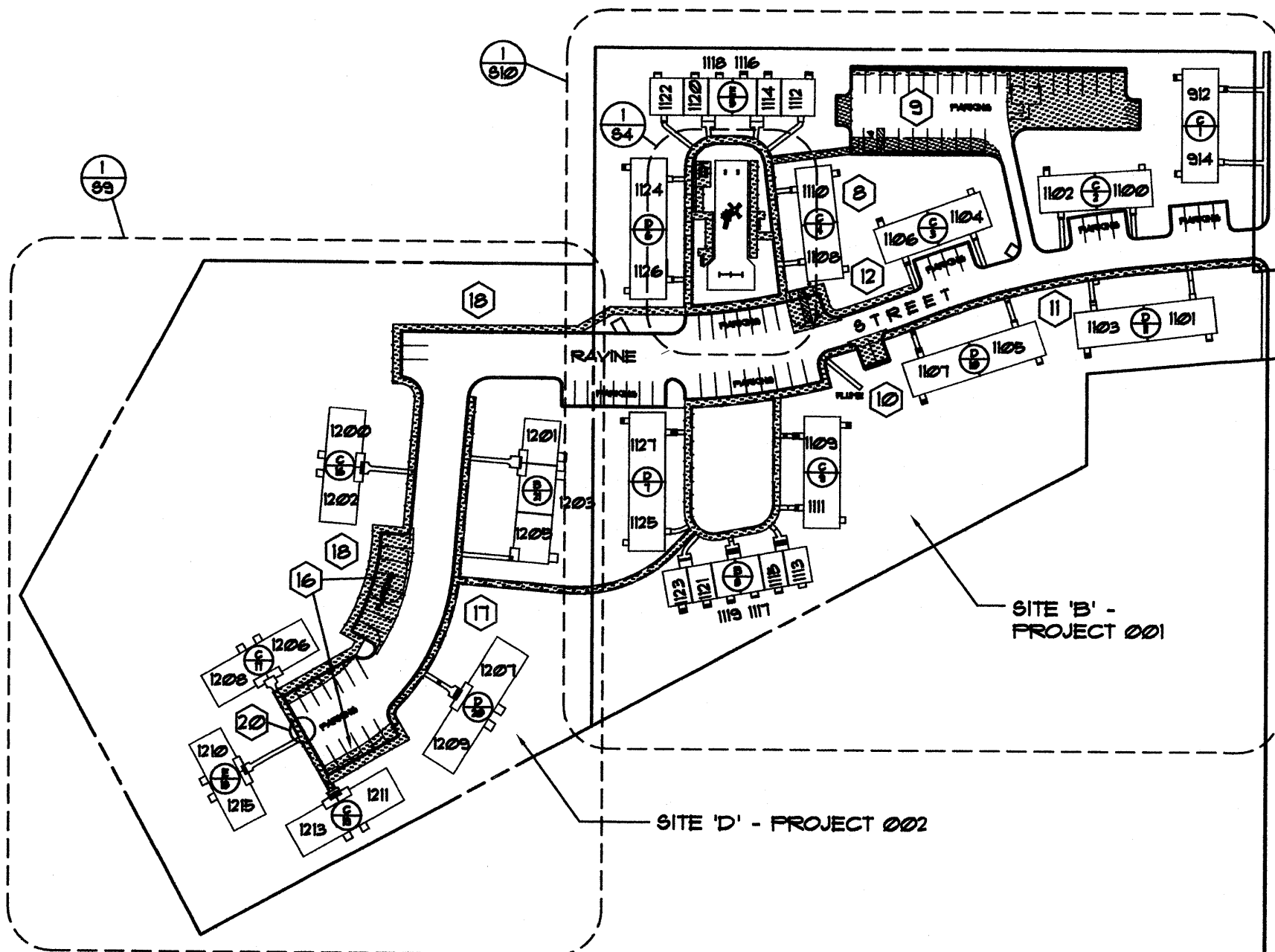
SCALE: 1" = 20' FEET
SURVEY DATE: JAN. 2006
PLAT DATE: 02-06-06

JOB NUMBER: 06-003
CAD NAME: 06-003
CR5 FILE: BQT (cont): 06-003 (job)

PREPARED BY: KERR SURVEYING, LLC
505 CHURCH STREET, P.O. BOX 269
COLLEGE STATION, TEXAS 77841
PHONE (979) 288-3195

PREPARED FOR: IMPERIAL HOMES
4578 W. COUNTRY COURT
BRYAN, TEXAS 77808
PHONE (979) 739-0817

2006-03



SITE NOTES:

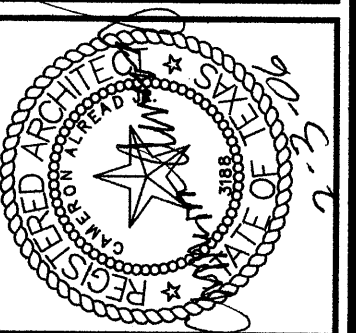
1. CONTRACTOR IS TO VERIFY ALL EXISTING SITE CONDITIONS AND DIMENSIONS, INCLUDING ALL REPLACEMENT AND ADDITION OF CONCRETE SIDEWALKS, AND REPORT ANY DISCREPANCIES TO THE OWNER PRIOR TO BEGINNING CONSTRUCTION.
2. NEW HANDICAPPED WALKS SLOPE SHALL NOT EXCEED 1:20
3. NEW HANDICAPPED RAMP SLOPE SHALL NOT EXCEED 1:12
4. ALL PAVED SURFACES FOR HANDICAPPED EXCEEDING 1:20 SLOPE SHALL HAVE HANDRAILS
5. ALL HANDICAPPED PARKING SURFACES SHALL NOT EXCEED 1:50 SLOPE. ALL OTHER PAVED SURFACES SHALL SLOPE 1/8" / FT. MINIMUM.
6. PROVIDE A POSITIVE SLOPE AWAY FROM ALL NEW CONCRETE FLATWORK. PROVIDE A 6" P.V.C. DRAIN UNDER NEW WALKS WHERE WALKS CROSS LOW AREAS, OR RESTRICT WATER FLOW ACROSS SITE (TYP.).
7. WHERE NEW CONCRETE PARKING OR PAVING SLAB ABUTS EXISTING PAVING, ALIGN TOP OF NEW SLAB WITH EXISTING PAVING SURFACE (TYPICAL).

SITE LEGEND:

- | | |
|--------------|---|
| UNIT ADDRESS | BUILDING TYPE |
| | HANDICAPPED UNIT |
| | BUILDING NUMBER |
| | INDICATES WORK ITEM- REFER TO COVER SHEET |
| | EXISTING TREE TO REMAIN |
| | EXISTING TREE TO BE REMOVED |
| | NEW CONCRETE FLATWORK |
| | EXISTING FIRE HYDRANT |
| | EXISTING POWER POLE |
| | EXISTING CONCRETE CURB TO BE REPLACED |

SITEPLAN
R8
JOB NO. 0473

CAMERON ALREAD, ARCHITECT INC.
MEMBER * AMERICAN INSTITUTE OF ARCHITECTS
209 W. EIGHTH ST. FORT WORTH, TEXAS 76102
PHONE (817) 332-6231 FAX (817) 335-9656



MODERNIZATION
PROJECT TX20-1,2 & 3
HOUSING AUTHORITY OF THE CITY OF
BRYAN, TEXAS

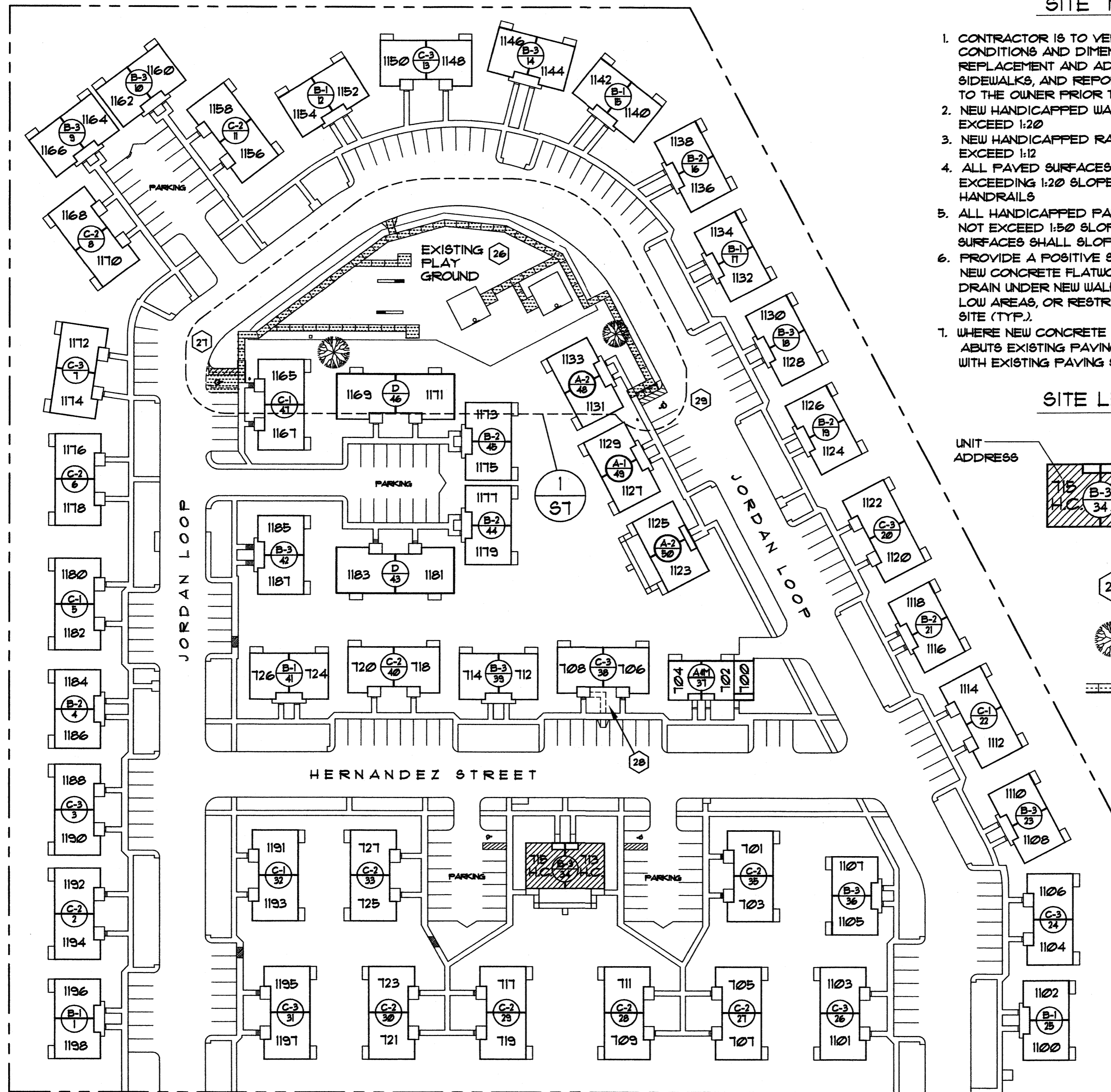
DATE:
FEB. 3, 2006

SHEET NUMBER
51
OF 176 SHEETS

1 SITE PLANS 'C' AND 'E' - PROJECTS 001 & 002
51 1" = 100' (DEDUCT ALTERNATE NUMBER 1)

2 SITE PLANS 'A' THRU 'D' - PROJECTS 001 & 002
51 1" = 100'

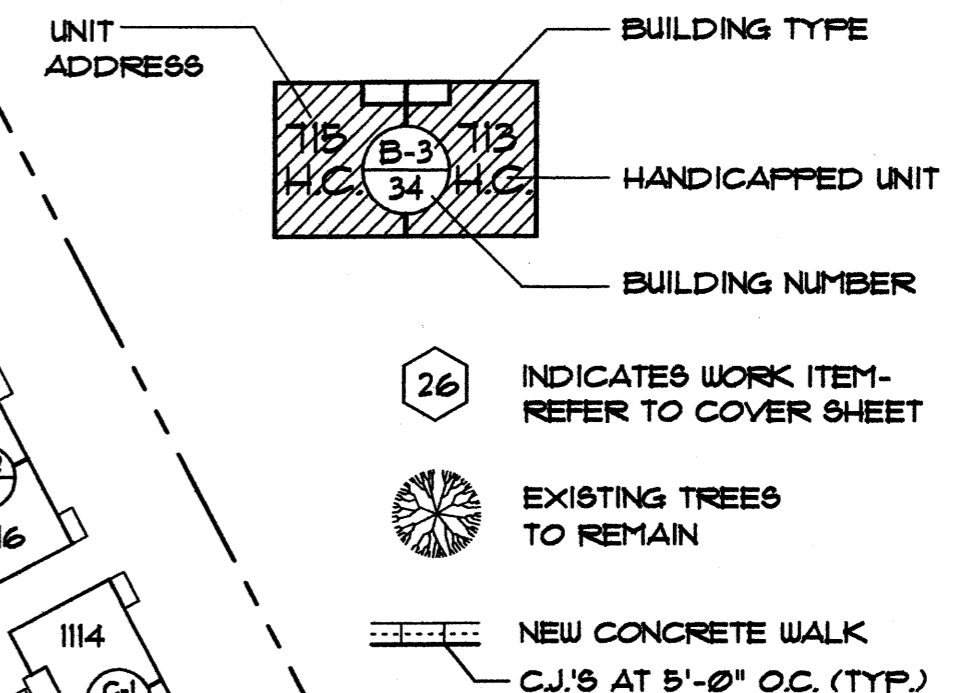




SITE NOTES:

1. CONTRACTOR IS TO VERIFY ALL EXISTING SITE CONDITIONS AND DIMENSIONS, INCLUDING ALL REPLACEMENT AND ADDITION OF CONCRETE SIDEWALKS, AND REPORT ANY DISCREPANCIES TO THE OWNER PRIOR TO BEGINNING CONSTRUCTION.
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7. WHERE NEW CONCRETE PARKING OR PAVING SLAB ABUTS EXISTING PAVING, ALIGN TOP OF NEW SLAB WITH EXISTING PAVING SURFACE (TYPICAL).

SITE LEGEND:



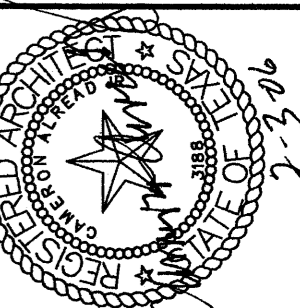
16 SITE PLAN - PROJECT 003
62 1" = 60'-0"

LEONARD ROAD



SITEPLAN3
8
JOB NO. 0473

CAMERON ALREAD, ARCHITECT INC.
MEMBER * AMERICAN INSTITUTE OF ARCHITECTS
209 W. EIGHTH ST. FORT WORTH, TEXAS 76102
PHONE (817) 332-6231 FAX (817) 335-9656



MODERNIZATION
PROJECT TX20-1243
HOUSING AUTHORITY OF THE CITY OF
BRYAN,
TEXAS

DATE:
FEB. 3, 2006

SHEET NUMBER

53

OF 178 SHEETS

SP06-05

SYMBOL	COMMON NAME (SCIENTIFIC NAME)	DESCRIPTION	QTY.	VALUE	POINTS
	LIVE OAK (QUERCUS VIRGINIA)	CANOPY TREES > 1.5 CAL.	5	200	1000
	CEDAR ELM (ULMUS ALATA)	CANOPY TREES > 1.5 CAL.	8	200	1600
	REDBUD (CERCIS CANADENSIS)	NON-CANOPY TREES > 1.5 CAL.	9	150	1350
	MOUNTAIN LAUREL (SOPHORA SECUNDIFLORA)	NON-CANOPY TREES > 1.5 CAL.	8	150	1200
	BURFORD HOLLY (ILEX CORNUTA)	SHRUBS < 2 GAL.	100	5	500
	PLANTING BED		2855	1	2855

LANDSCAPEING NOTES:

- APPROVED IRRIGATION PLAN IS REQUIRED PRIOR TO C.O..
- ALL PLANTINGS MUST BE IRRIGATED.
- 100% GROUND COVER REQUIRED. DECORATIVE PAVING, DECORATIVE ROCK, OR PERENNIAL GRASS REQUIRED IN ALL LOT ISLANDS, SWALES, DRAINAGE AREAS, PARKING LOT SETBACKS, RIGHTS OF WAY, AND ALL ADJACENT PROPERTIES DISTURBED BY CONSTRUCTION.
- IRRIGATION SYSTEM MUST BE PROTECTED BY EITHER A PRESSURE VACUUM BREAKER, A REDUCED PRESSURE PRINCIPLE BACK FLOW DEVICE, OR A DOUBLE-CHECK BACK FLOW DEVICE, AND INSTALLED AS PER CITY ORDINANCE 2394.
- ALL BACKFLOW DEVICES MUST BE INSTALLED AND TESTED UPON INSTALLATION AS PER CITY ORDINANCE 2394.

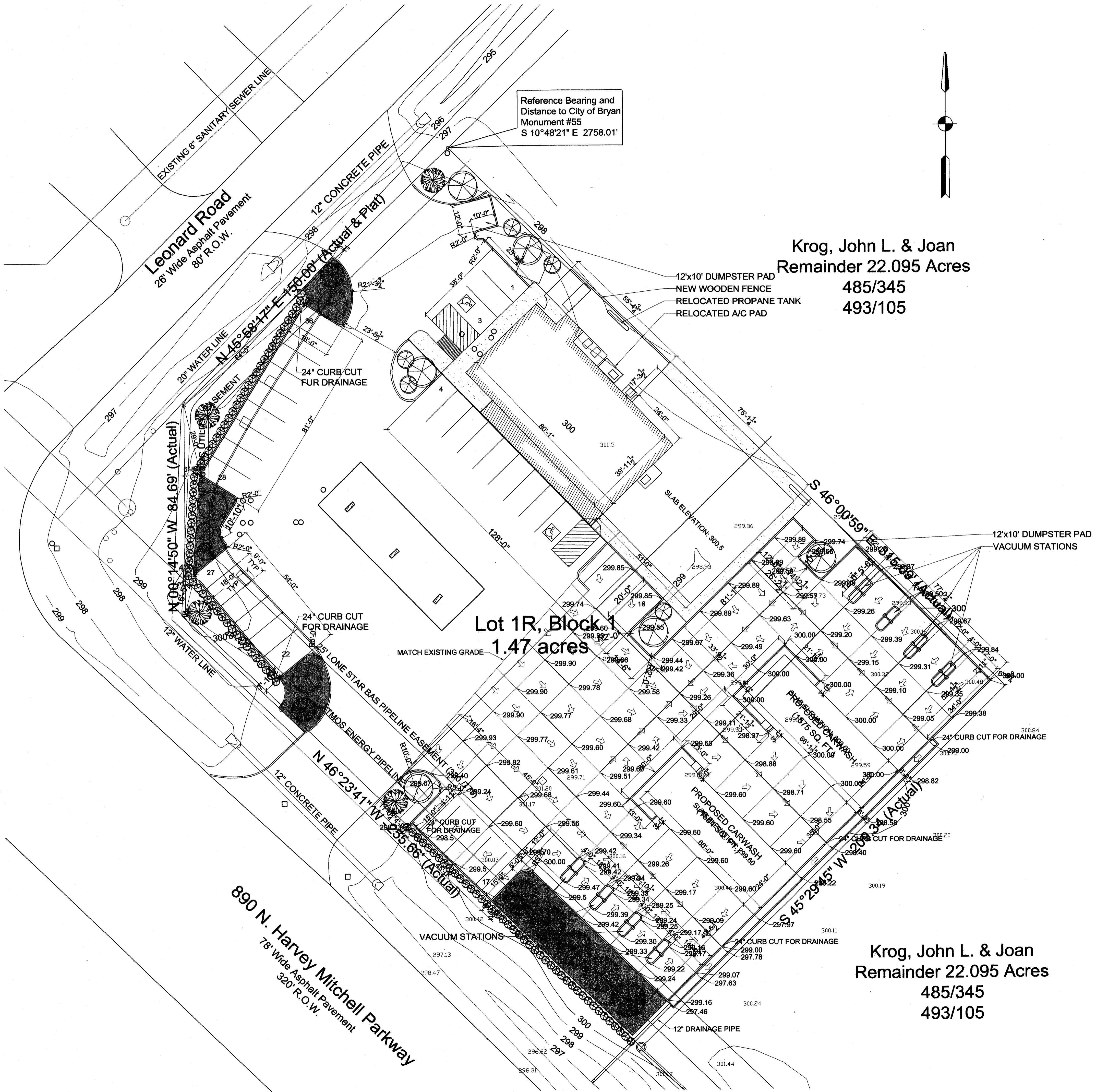
LANDSCAPE ANALYSIS

DEVELOPED AREA: 56,877 SQ. FT.
REQUIRED: 15% = 8,531.55

TREES:
8,531.55 x 50% = 4,266.775 REQUIRED
CANOPY TREES: 14 x 200 = 2,800
NON-CANOPY TREES: 13 x 150 = 1,950
TOTAL POINTS FROM TREES: 4,750

SHRUBS: 100 x 5 = 500
PLANTING BEDS: 2855 SQ. FT. = 2855
GRASS: 4,532 SQ. FT. = 453

TOTAL POINTS: 8,558



RAI
DRAFT
DESIGN
CONSULT

(979)-846-3366
4500 Carter Creek Dr. #203
Bryan, TX 77802
www.raidesigns.com

NORTH BRYAN
FOOD MART
ADDITION & CARWASH

JOB# 05-140

North Bryan Food Mart, Inc.
P.O. Box 4650
Bryan, TX 77805
(979) 575-4545

ITER-LAYOUT
SEM-FINISHOUT

SHEET
S-3
OF
FOUR

DATE
02-06-06

01-05-06
02-06-06

SP06-06

NUCHE, SAM,
555100-0019-0471

R40216

JADLOWSKI, MICHA
555100-0019-0430

R40218

SMITH, DOROTHY J
555100-0019-0020

R40178

R40180

R401805

NESMITH
5551

SP 06-07

R97124

Parking
Lot

4501

4501

4501

4501

4501

4501

4501

4501

4501

4501

4501

4501

4501

4501

4501

4501

4501

4501

4501

4501

4501

CROWLEY
R44403

ESH 21

NESMITH, DORIS
555100-0019-0180

R103449

R40196

BARNES, DOROTHY MAE
555100-0019-0160

R40191

MURPHY

20x40
Storage bldg.

Retention Pond

GRAFF
R28252

25 ft
Road
Access

SS LN

CHAIWI INDUSTRIAL

SS LN

SS LN

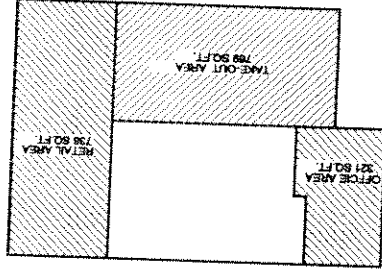
SS LN

SS LN

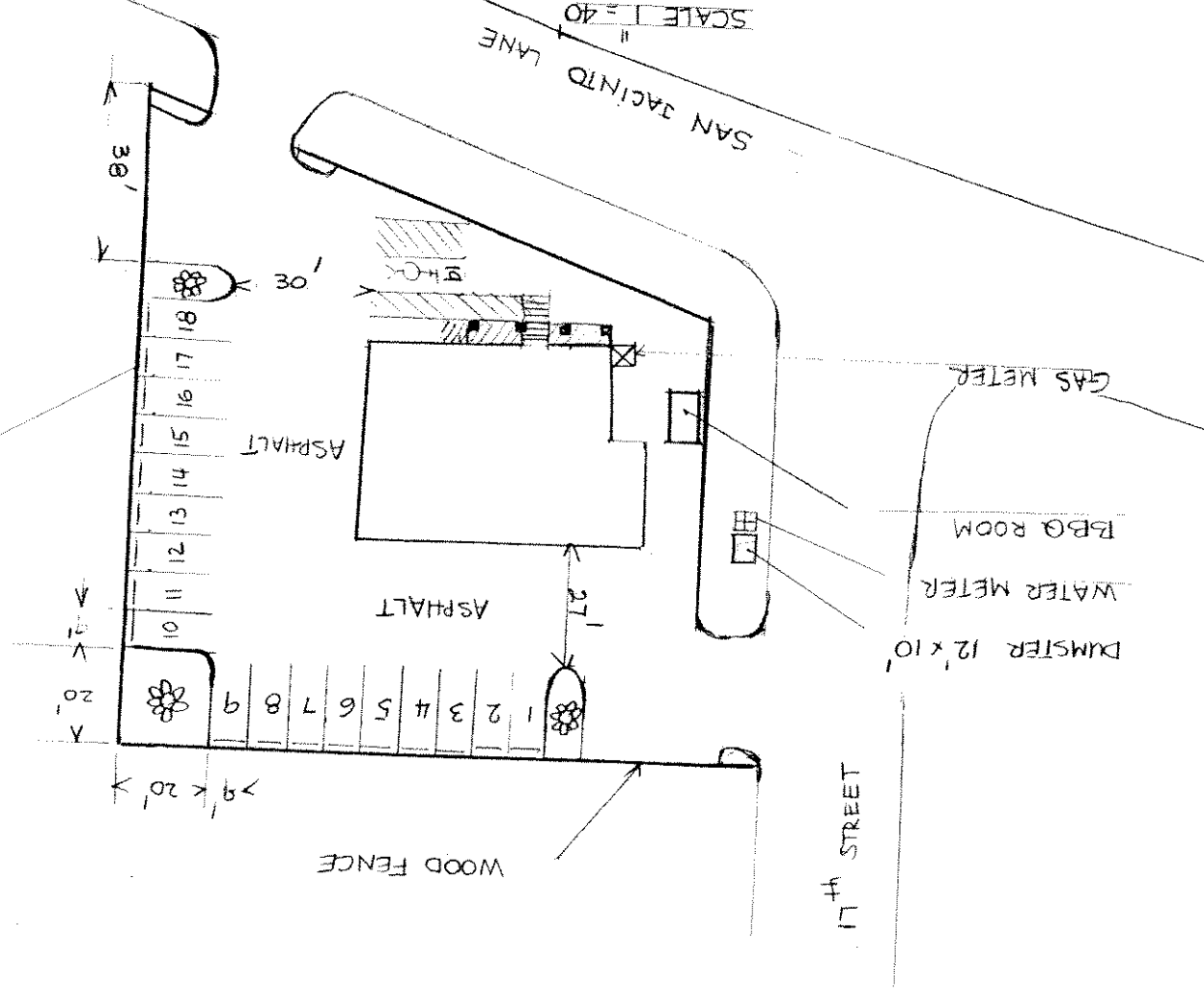
SS LN

SP06-08

REQUIRED PARKING SCHEDULE			
CLASSIFICATION	AREA	TAKE-OUT	TOTALS
RETAIL	TAKE OUT AREA	769 SQ. FT.	8 + 1 PER 50 SQ. FT.
OFFICE & RETAIL	753 SQ. FT.	DIVIDE BY 250 GROSS	3.02
TOTAL REQUIRED			26.39
TOTAL PROVIDED			18



WOOD FENCE

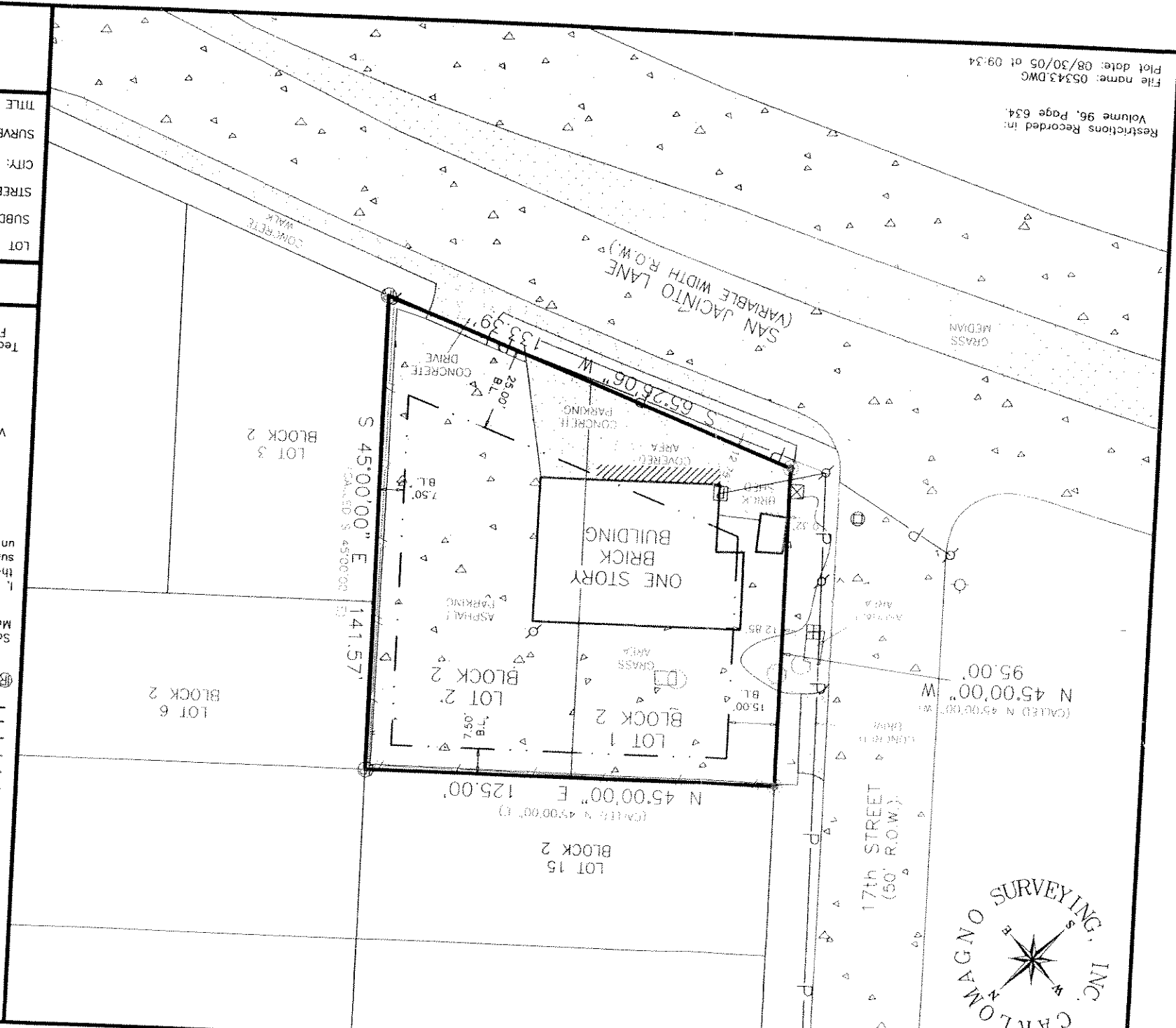


SITE PLAN



Restrictions Recorded in:
Volume 96, Page 634.

File name: 05343.DWG
Plot date: 08/30/05 at 09:34

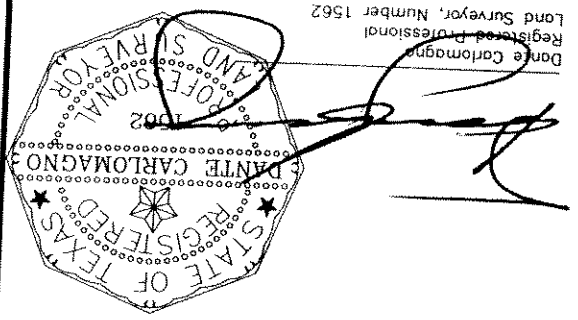


SURVEY LEGEND

- 5/8" IRON ROD SET
 - MONUMENT
 - WATER METER
 - WATER VALVE
 - FIRE HYDRANT
 - ELECTRIC METER
 - POWER POLE
 - LIGHT POLE
 - TRANSFORMER
 - PIPELINE MARKER
 - GAS METER
 - PROpane TANK
 - SANITARY MANHOLE
 - STORM MANHOLE
 - CLEANOUT
 - SEPTIC TANK
 - TELEPHONE PEDESTAL
 - CABLE BOX
 - TREE
-
- SUBJECT PROPERTY LINE
 - ORIGINAL PROPERTY LINE
 - ELECTRICAL LINE
 - GAS LINE
 - CHAINLINK FENCE
 - WOOD FENCE
 - BARB WIRE FENCE
 - ACCESS EASEMENT
 - DRAINAGE EASEMENT
 - ELECTRICAL EASEMENT
 - INGRESS/EGRESS EASEMENT
 - RIGHT-OF-WAY EASEMENT
 - PROpane TANK
 - SANITARY/STORM EASEMENT
 - UTILITY EASEMENT
 - ORDINANCE BUILDING LINE
 - PLATTED BUILDING LINE
 - RESTRICTION BUILDING LINE
 - IRON ROD FOUND
 - IRON PIPE FOUND

I, Dante Carlomagno, Registered Professional Land Surveyor No. 1562, do hereby certify that the above survey is a true and accurate representation of an actual on the ground survey made under my supervision and that there are no encroachments or overlaps unless otherwise shown.

Said lot is not under the 100 year flood plain, as identified by the Federal Emergency Management Agency on Community Panel No. 48041C0133 C. Dated: July 2, 1992



Bearing Basis:
S 45°00'00" E
Volume 96, Page 634
B.C.D.R.
Drawing Scale
1"=40'

Technician: Jason Bailey
Field Crew: J. Groce
Dante Carlomagno
Registered Professional
Land Surveyor, Number 1562

PLAT OF SURVEY

LOT Nos.: ONE (1) & TWO (2) , BLOCK No.: TWO (2)

SUBVISION: SUNSET ADDITION # 2, 96/634

STREET ADDRESS: 1000 SAN JACINTO LANE

CITY: BRYAN

SURVEYED FOR: LOI PHAT NGUYEN

TITLE CO.: LAWYERS TITLE

GF# S28124

Carlomagno Surveying, Inc.

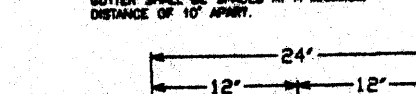
2714 Finteachner Road, Bryan, Texas 77801
PHONE: (979)775-2873 FAX: (979)775-4787
www.CarlomagnoSurveying.com

SCALE : 1" = 40'

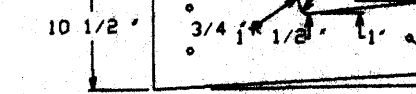
HANDICAP RAMP DETAIL



NOTE: CONCRETE JOINTS IN CURB & GUTTER SHALL BE SPACED AT A MAXIMUM OF 12' ON CENTER. JOINTS SHALL BE REINFORCED WITH 2\"/>



CLASS "A" CONC. (28 DAY STRENGTH-4000 PSI)
1/4\"/>



CLASS "A" CONC. (28 DAY STRENGTH-4000 PSI)
1/4\"/>

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(N.T.S.)

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(N.T.S.)

RETAINING WALL DETAIL



NOTE: CONCRETE JOINTS IN CURB & GUTTER SHALL BE SPACED AT A MAXIMUM OF 12' ON CENTER. JOINTS SHALL BE REINFORCED WITH 2\"/>



CLASS "A" CONC. (28 DAY STRENGTH-4000 PSI)
1/4\"/>



CLASS "A" CONC. (28 DAY STRENGTH-4000 PSI)
1/4\"/>

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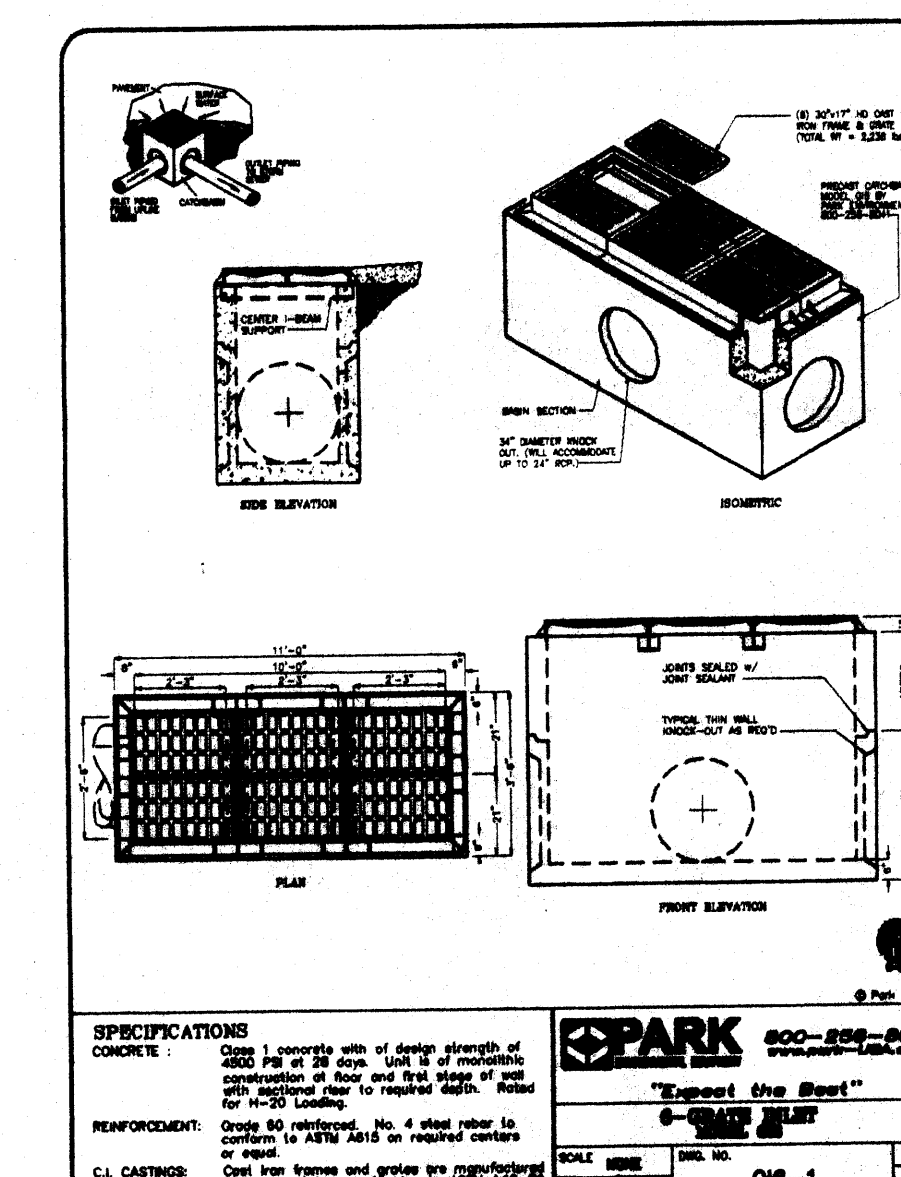
(N.T.S.)

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(N.T.S.)

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(N.T.S.)



SPECIFICATIONS

CONCRETE: Class "A" concrete (28 day strength-4000 PSI) with 1/4\"/>

REINFORCEMENT: Class "A" concrete (28 day strength-4000 PSI) with 1/4\"/>

C.I. CASTINGS: Class "A" concrete (28 day strength-4000 PSI) with 1/4\"/>

PAVING: Class "A" concrete (28 day strength-4000 PSI) with 1/4\"/>

FINISH: Class "A" concrete (28 day strength-4000 PSI) with 1/4\"/>

PAINT: Class "A" concrete (28 day strength-4000 PSI) with 1/4\"/>

INSTALLATION: Class "A" concrete (28 day strength-4000 PSI) with 1/4\"/>

MAINTENANCE: Class "A" concrete (28 day strength-4000 PSI) with 1/4\"/>

REPAIRS: Class "A" concrete (28 day strength-4000 PSI) with 1/4\"/>

REPLACEMENT: Class "A" concrete (28 day strength-4000 PSI) with 1/4\"/>

DEMOLITION: Class "A" concrete (28 day strength-4000 PSI) with 1/4\"/>

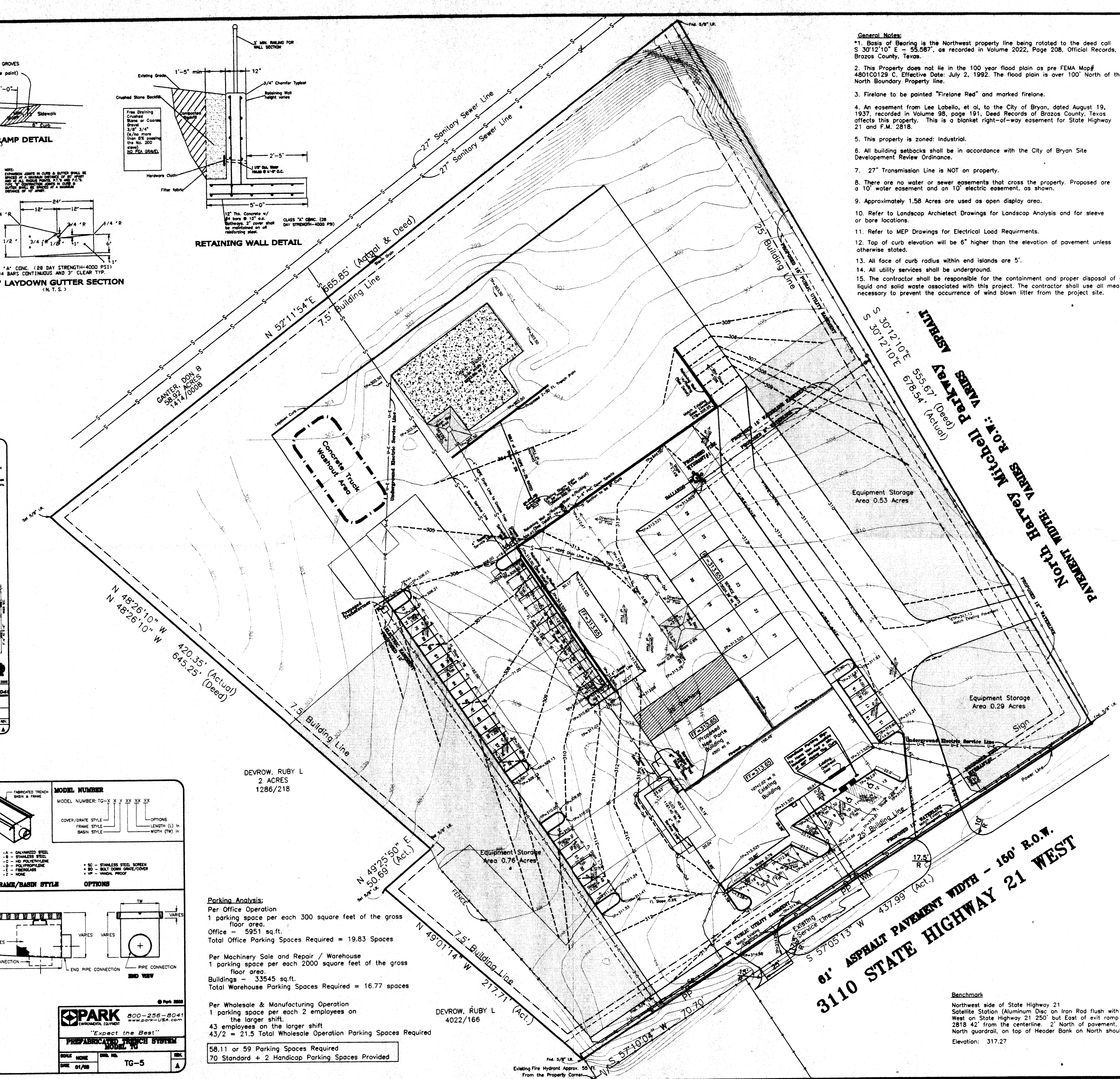
DISPOSAL: Class "A" concrete (28 day strength-4000 PSI) with 1/4\"/>

RECYCLING: Class "A" concrete (28 day strength-4000 PSI) with 1/4\"/>

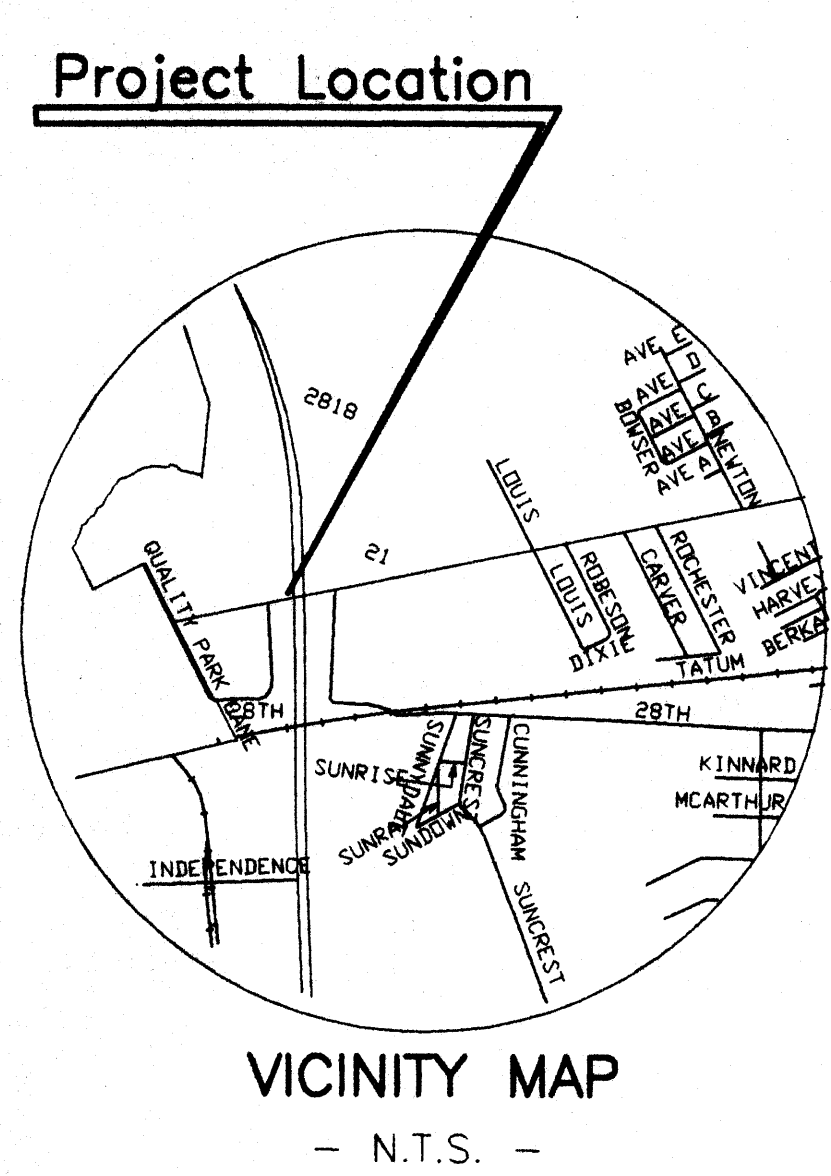
ENVIRONMENTAL: Class "A" concrete (28 day strength-4000 PSI) with 1/4\"/>

SAFETY: Class "A" concrete (28 day strength-4000 PSI) with 1/4\"/>

OTHER: Class "A" concrete (28 day strength-4000 PSI) with 1/4\"/>



- General Notes:**
1. Basis of Bearing is the Northwest property line being rotated to the deed call S 30°12'10" E - 55.587', as recorded in Volume 2022, Page 208, Official Records, Brazos County, Texas.
 2. This Property does not lie in the 100 year flood plain as per FEMA Map# 4801C0129 C, Effective Date: July 2, 1992. The flood plain is over 100' North of the North Boundary Property line.
 3. Firelane to be painted "Firelane Red" and marked firelane.
 4. An easement from Lee Labello, et al, to the City of Bryan, dated August 19, 1937, recorded in Volume 98, page 191, Deed Records of Brazos County, Texas affects this property. This is a blanket right-of-way easement for State Highway 21 and F.M. 2818.
 5. This property is zoned: Industrial.
 6. All building setbacks shall be in accordance with the City of Bryan Site Development Review Ordinance.
 7. 27" Transmission Line is NOT on property.
 8. There are no water or sewer easements that cross the property. Proposed are a 10' water easement and on 10' electric easement, as shown.
 9. Approximately 1.58 Acres are used as open display area.
 10. Refer to Landscap Architect Drawings for Landscap Analysis and for sleeve or bore locations.
 11. Refer to MEP Drawings for Electrical Load Requirements.
 12. Top of curb elevation will be 6" higher than the elevation of pavement unless otherwise stated.
 13. All face of curb radius within and islands are 5'.
 14. All utility services shall be underground.
 15. The contractor shall be responsible for the containment and proper disposal of all liquid and solid waste associated with this project. The contractor shall use all means necessary to prevent the occurrence of wind blown litter from the project site.



CERTIFICATE OF SURVEY
I, Donald D. Garrett, Registered Professional Land Surveyor No.2972, of the State of Texas, hereby certify that this plat is true and correct and was prepared from an actual survey of the property made under my supervision on the ground and that the metes and bounds described in said subdivision will describe a closed geometric figure.

Donald D. Garrett, R.P.S. No. 2972

CERTIFICATE OF THE ENGINEER
I, Donald D. Garrett, Registered Professional Engineer No. 22790, in the State of Texas, hereby certify that proper engineering consideration has been given to this plat.

Donald D. Garrett, P.E. No. 22790

SITE and GRADING PLAN of PRATER SUBDIVISION LOT 1 BLOCK 1 8.66 ACRES

Vol. 6131 Pg. 099
0.47 Acres
Vol. 2548 Pg. 313
1.00 Acres

STEPHEN F. AUSTIN, NO.9, A-62
Bryan,
Brazos County, Texas

SCALE : 1"=40' FEB., 2006

OWNER/DEVELOPER:
Coufal-Prater Equipment
3110 Highway 21 West
Bryan, TX 77803-1241
(979) 822-7684

GARRETT ENGINEERING
Consulting Engineering & Land Surveying
4444 Carter Creek Parkway Suite 108
Bryan, Texas 77802
Telephone : (979) 846 - 8888
Fax : (979) 846 - 8888

Parking Analysis:
Per Office Operation
1 parking space per each 300 square feet of the gross floor area.
Office - 5951 sq.ft.
Total Office Parking Spaces Required = 19.83 Spaces

Per Machinery Sale and Repair / Warehouse
1 parking space per each 2000 square feet of the gross floor area.
Buildings - 33545 sq.ft.
Total Warehouse Parking Spaces Required = 16.77 spaces

Per Wholesale & Manufacturing Operation
1 parking space per each 2 employees on the larger shift.
43 employees on the larger shift
43/2 = 21.5 Total Wholesale Operation Parking Spaces Required

58.11 or 59 Parking Spaces Required
70 Standard + 2 Handicap Parking Spaces Provided

DEVROW, RUBY L
4022/166

Existing Fire Hydrant Approx. 55' ft
From the Property Corner.

SP05-49 #4

EROSION CONTROL NOTES:

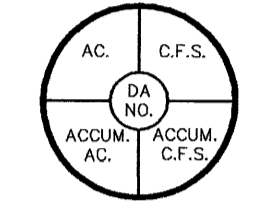
1. EROSION CONTROL MEASURES SHOWN SHALL BE CONSIDER THE VERY MINIMAL REQUIRED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMPLEMENT ALL OTHER EROSION CONTROL MEASURES (DIVERSION BERMS, DRAINAGE STRUCTURES, SWALES, ADDITIONAL FENCING, ETC.) NECESSARY TO KEEP THE EXISTING IMPROVEMENTS AND DEVELOPMENTS FROM DAMAGE OF ANY KIND, DURING ALL PHASES OF DEMOLITION AND CONSTRUCTION.
2. THE SITE SUPERINTENDENT, OR HIS REPRESENTATIVE, SHALL MAKE A VISUAL INSPECTION OF ALL SILTATION CONTROLS AND NEWLY STABILIZED AREAS ON A DAILY BASIS; ESPECIALLY AFTER A RAINFALL TO INSURE THAT ALL CONTROLS ARE MAINTAINED AND PROPERLY FUNCTIONING. ANY DAMAGED CONTROLS SHALL BE REPAIRED PRIOR TO THE END OF THE WORK DAY, INCLUDING RE-SEEDING AND MULCHING OR RE-SODDING, IF NECESSARY.
3. ALL SEDIMENT TRAPPING DEVICES SHALL BE INSTALLED AS SOON AS PRACTICAL AFTER THE AREA HAS BEEN DISTURBED. ALL SEDIMENT TRAPPING DEVICES SHALL BE CLEANED WHEN THE SEDIMENT LEVEL REACHES 25% CAPACITY. SEDIMENT SHALL BE DISPOSED OF BY SPREADING ON SITE OR HAULING AWAY IF NOT SUITABLE FOR FILL.
4. DURING CONSTRUCTION, CONTRACTOR SHALL MAINTAIN BEST MANAGEMENT PRACTICE (BMP). SEDIMENT FENCE, HAY BALE BARRIERS, OR OTHER SEDIMENT TRAPPING DEVICES SHALL CONTROL ALL STORM WATER LEAVING THE SITE.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING TEMPORARY EROSION CONTROL MEASURES AS REQUIRED FOR DIFFERENT PHASES OF CONSTRUCTION. EROSION CONTROL MEASURES SHOWN MAY NEED TO BE ADJUSTED TO HANDLE INCREASED OR CONCENTRATED FLOWS CREATED BY VARIOUS STAGES OF THE CONSTRUCTION.
6. THE CONTRACTOR IS RESPONSIBLE FOR FILING A NOTICE OF INTENT PRIOR TO COMMENCEMENT OF WORK AND A NOTICE OF TERMINATION AT THE COMPLETION OF THE PROJECT TO THE TCEQ. A CONSTRUCTION SITE NOTICE, VISIBLE FROM THE PUBLIC RIGHT-OF-WAY SHALL BE POSTED AT THE SITE.
7. EROSION CONTROL MEASURES DESIGNATED AS "PHASE TWO" SHALL BE IMPLEMENTED IMMEDIATELY AFTER CONSTRUCTION OF THEIR ASSOCIATED IMPROVEMENTS.
8. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SEDIMENT CONTROL DEVICES AFTER THE SITE HAS BEEN SEEDED AND/OR SODDED, AND GROUND COVER HAS TAKEN ROOT.
9. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO ENSURE THAT ALL DISTURBED AREAS ARE STABILIZED. DESIGNATED AREAS SHALL BE BLOCK SODDED, AND ALL OTHER AREAS DISTURBED DUE TO CONSTRUCTION SHALL BE HYDRO-MULCHED SEEDED. THESE STABILIZED AREAS SHALL BE SODDED OR SEEDED, FERTILIZED, AND WATERED TO ESTABLISH A SOLID GROUND COVER WITHIN 30 DAYS OF COMPLETION, OR IF ACTIVITY CEASES FOR MORE THAN 14 DAYS.
10. WHEN HYDROMULCH IS REQUIRED, CONTRACTOR SHALL KEEP MULCH MOIST AFTER INSTALLATION AND UNTIL AREA SHOWS GROWTH.
11. CONTRACTOR SHALL SOD RIGHT-OF-WAY AFTER DRIVES, GRADING, AND SIDEWALKS HAVE BEEN CONSTRUCTED.
12. THE TxDOT STANDARD DETAIL SHEET EC(2)-93 IS ISSUED AS A PART OF THE CIVIL CONSTRUCTION DRAWINGS.
13. SEE CIVIL DETAIL SHEET C2.2 FOR MISCELLANEOUS EROSION CONTROL DETAILS.

GENERAL CONSTRUCTION NOTES:

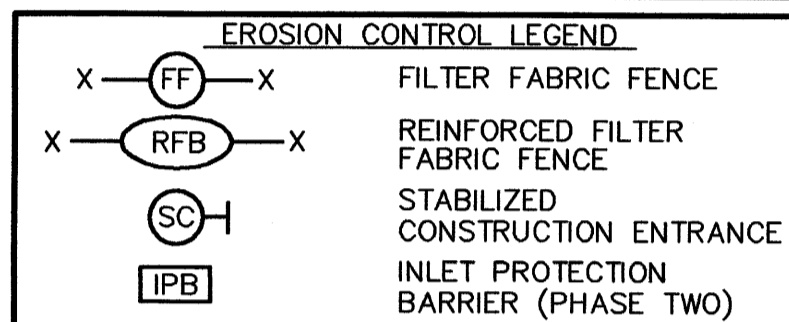
1. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THESE PLANS AND OTHER CONSTRUCTION DRAWINGS OF DIFFERING DISCIPLINES & SPECIFICATIONS.
 2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE CONSTRUCTION PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO AVOID ALL EXISTING UTILITIES AND REPAIR ANY DAMAGED LINES, AT HIS OWN EXPENSE, WHETHER THE UTILITY IS SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANY 48 HOURS PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL ALSO NOTIFY THE ENGINEER IF DESIGN CHANGES NEED TO BE MADE IN THE FIELD.
- CONTACT INFORMATION:**
 TEXAS ONE CALL: 800-245-4545
 LONE STAR ONE CALL: (800) 669-8344
 TEXAS EXCAVATION SAFETY SYSTEM (DIGTESS): (800) 344-8377
 BRYAN TEXAS UTILITIES (BTU): ELECTRICAL DIVISION - (979) 821-5865
 CoB: ENGINEERING DIVISION - (979) 209-5030
 CoB: WATER SERVICES DIVISION - (979) 209-5900
 CoB: SANITATION DIVISION - (979) 209-5934
 VERIZON: JIM SURVANT - (979) 821-4300
 ATMOS ENERGY: KIMBERLY WINN - (979) 774-2506
 EXXON-MOBILE: MICHAEL HLUZA - (281) 591-3720
 COX COMMUNICATIONS: MIKE LAVENDER - (979) 846-2229
3. CONTRACTOR TO VERIFY ALL UNDERGROUND UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES OR SERVICE LINES THAT ARE CROSSED OR EXPOSED DURING CONSTRUCTION OPERATIONS. WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN, OR DAMAGED, THE CONTRACTOR SHALL REPAIR OR REPLACE THE UTILITIES OR SERVICE LINE WITH THE SAME TYPE OF MATERIAL AND CONSTRUCTION OR BETTER; THIS MATERIAL AND WORK SHALL BE AT THE CONTRACTOR'S OWN EXPENSE.
 5. DURING THE EXECUTION OF THE WORK, THE CONTRACTOR SHALL MAINTAIN THE PROJECT SITE IN AN ORDERLY AND ACCEPTABLE MANNER AS FAR AS PRACTICAL. THE CONTRACTOR SHALL CLEAN AND REMOVE FROM THE PROJECT AREA ALL SURPLUS AND DISCARDED MATERIALS, TEMPORARY STRUCTURES, AND DEBRIS OF ANY KIND AND SHALL LEAVE THE PROJECT SITE IN A NEAT AND ORDERLY CONDITION. ALL CLEAN UP WILL BE DONE TO THE SATISFACTION OF THE ENGINEER.
 6. THE EXISTING SITE & EROSION CONTROL PLAN, PREPARED BY RME IS NOT TO BE CONSIDERED A DEMOLITION PLAN. THE CONTRACTOR SHALL COORDINATE THIS WORK AND PROCEDURES WITH PREMIER BUILDERS, INC.
 7. CONTRACTOR SHALL COMPLY WITH LATEST EDITION OF OSHA REGULATIONS AND THE STATE OF TEXAS LAWS CONCERNING EXCAVATION.

GENERAL CONSTRUCTION NOTES (CONT'D):

8. CONTRACTOR SHALL MAINTAIN A SET OF REDLINE DRAWINGS RECORDING AS-BUILT CONDITIONS DURING CONSTRUCTION. THESE REDLINE MARKED UP DRAWINGS WILL BE SUBMITTED TO THE DESIGN CONSULTANT WHO WILL MAKE THE CHANGES ON THE ORIGINAL TRACINGS, LABELING EACH SHEET IN THE SET AS "RECORD DRAWINGS", AND RETURNING SAME TO THE CITY ENGINEER.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFEGUARDING AND PROTECTING ALL MATERIAL AND EQUIPMENT STORED ON THE JOBSITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STORAGE OF MATERIALS IN A SAFE AND WORKMANLIKE MANNER TO PREVENT INJURIES, DURING AND AFTER WORKING HOURS, UNTIL PROJECT COMPLETION.
10. CONTRACTOR SHALL SAW CUT REMOVE AND REPLACE CONCRETE PAVEMENT, CURB AND GUTTER AS REQUIRED TO CONSTRUCT PROPOSED DRIVEWAY.
11. PREMIER BUILDERS, INC. (GENERAL CONTRACTOR) SHALL BE RESPONSIBLE FOR COORDINATING EROSION CONTROL BETWEEN PHASE ONE DEVELOPMENT AND THE EXISTING PETE'S EXXON IMPROVEMENTS. THE PHASE LINE SHOWN IS APPROXIMATE AND ITS EXACT LOCATION SHALL BE DETERMINED BY THE GENERAL CONTRACTOR.
11. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PAY FOR AND OBTAIN ALL REQUIRED PERMITS AND INSPECTION APPROVALS FOR ALL WORK SHOWN.
12. ANY ADJACENT PROPERTY AND RIGHT-OF-WAY DISTURBED DURING CONSTRUCTION WILL BE RETURNED TO THEIR EXISTING CONDITIONS OR BETTER.

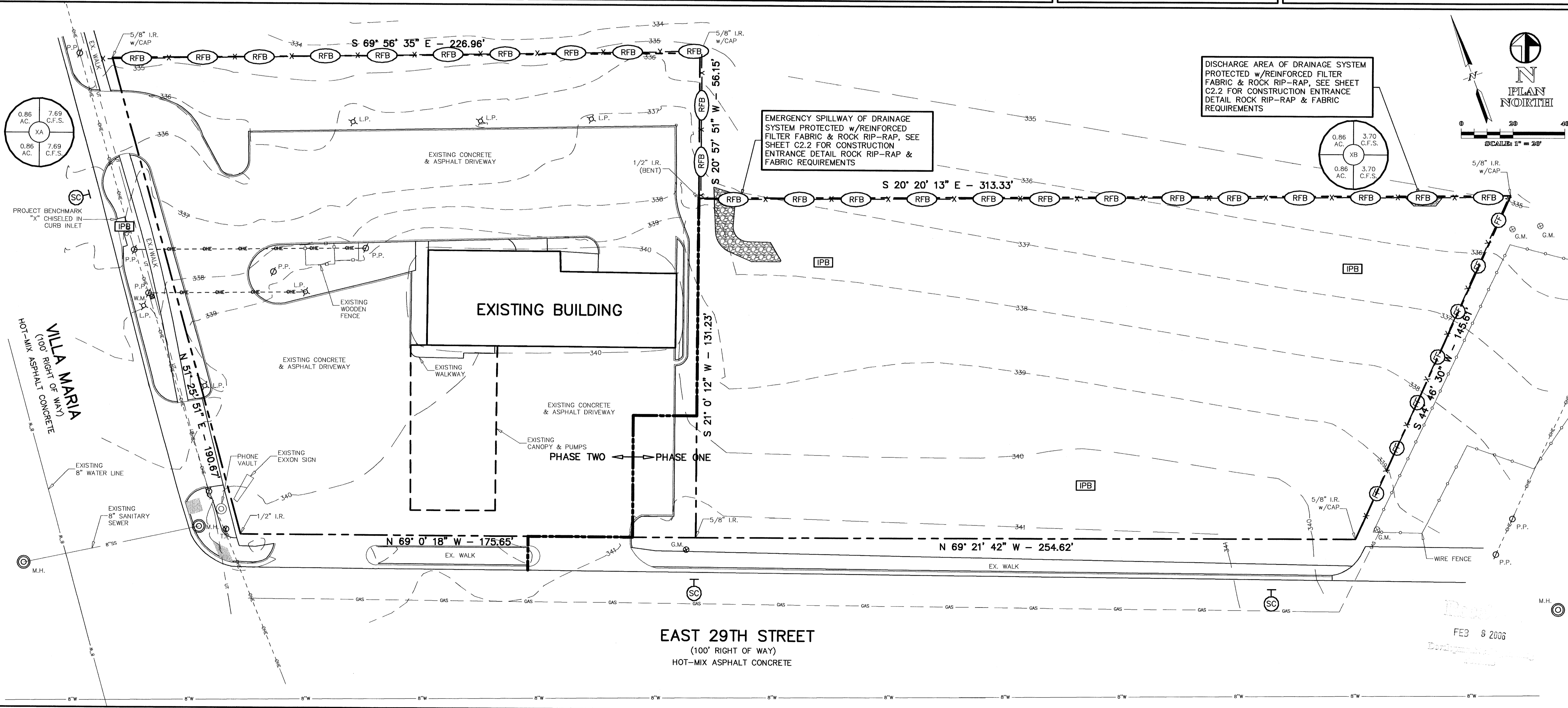


DRAINAGE AREA LABEL
(REPORTS THE 100-YEAR
RAINFALL EVENT)



PROJECT BENCHMARK:

"X" CHISELED IN NORTH CORNER OF CURB INLET LOCATED ON VILLIA MARIA NEAR THE NORTHWEST CORNER OF PETE'S EXXON PROPERTY, CONTACT GARRETT ENGINEERING & LAND SURVEYING FOR ELEVATION DATUM INFORMATION.



RABON
METCALF
ENGINEERING

POST OFFICE BOX 9253
COLLEGE STATION, TEXAS 77842
EMAIL: rmengineer@verizon.net

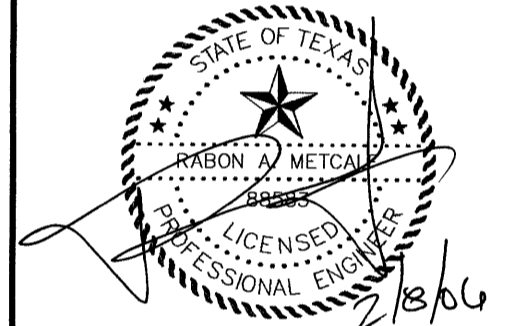
OFFICE - (979) 690-0329
FAX - (979) 690-0329
CELL - (979) 219-4174

GARRETT ENGINEERING
4444 CARTER CREEK PKWY
BRYAN, TX 77802

OFF: (979) 846-2688
FAX: (979) 846-3094

**SUBSTANTIALLY
COMPLETE
FOR
CONSTRUCTION
2/8/06**

CONSTRUCTION DRAWINGS
ISSUED PRIOR TO THIS
DATE ARE REPLACED BY
THIS SET & SHOULD NOT
BE USED FOR
CONSTRUCTION.



EXISTING SITE & EROSION CONTROL
PLAN
FOR
PETE'S EXXON
2401 EAST 29TH STREET
BRYAN, TEXAS 77803
PART OF LOT 3, BLOCK ONE - CRESTVIEW REST HOME SUBDIVISION
AND 0.88 ACRE TRACT (VOL. 1687, PG. 94)
BRYAN, BRAZOS COUNTY, TEXAS

CLIENT INFORMATION
PREMIER BUILDERS, INC.
c/o CHARLES TAYLOR, III
2402 BROADMOOR, BLDG. D, STE. 101
BRYAN, TX 77802
OFF: (979) 776-2212
FAX: (979) 776-2214

FILENAME: 0269EC1A SCALE: 1" = 20'
CONTRACT DATE: NOV. 11, 2005
DRAWN BY: R.A.M.
CHECKED BY: R.A.M.
FIELD BOOK: N/A PAGES: N/A

RABON METCALF ENGINEERING
CLIENT NO. PROJECT NO.
153 - 0269

C1.0
SHEET NO. 1 OF 5

SP06-01 #2

GRADING NOTES:

1. ALL UNPAVED AREAS SHALL BE ADEQUATELY GRADED TO DRAIN AT A MINIMUM OF 1.00% SLOPE SO THAT NO PONDING OCCURS.
2. UNLESS OTHERWISE SPECIFIED UNPAVED AREAS SHALL DRAIN AWAY FROM BUILDINGS AT A MINIMUM SLOPE OF 1.00% OR SO THAT THE PERIMETER CURB IS 6" LOWER THAN THE FINISH FLOOR.
3. FINISH GRADE ADJACENT TO CURBING OR SIDEWALKS SHALL BE $\frac{1}{2}$ " BELOW THE TOP OF CONCRETE AND IN LANDSCAPING AREAS, 2" BELOW.
4. WHEN GRADES FOR TOP OF CURB AND GUTTER FLOWLINE DIFFER, THE SLOPES SHOWN ARE FOR THE GUTTER FLOWLINE.
5. WHEN TOP OF CURB ELEVATIONS ARE SHOWN, THE CURB HEIGHT IS 6" UNLESS OTHERWISE SPECIFIED.
6. THE CONTRACTOR SHALL INSURE THAT ALL ENTRANCES AND ACCESSIBLE PATHS, TO AND FROM THE BUILDING, TO DESIGNATED H/C PARKING SPACES MEET ALL TEXAS ACCESSIBILITY CODES AND ADA STANDARDS.
7. THE CONTRACTOR SHALL FOLLOW THE GENERAL INTENT OF THE GRADING PLANS. MINOR ADJUSTMENTS TO ACTUAL ELEVATIONS SHOWN ON THE GRADING PLAN MAY BE REQUIRED TO MATCH EXISTING GROUND ELEVATIONS & STRUCTURES.
8. SLOPES BETWEEN PROPOSED CONTOURS SHALL BE 4:1 (MAXIMUM) UNLESS OTHERWISE SPECIFIED (DO NOT SCALE).
9. ADEQUATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION AND ANY DRAINAGE DITCH OR STRUCTURE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO EXISTING CONDITIONS OR BETTER.
10. THIS PLAN IS FOR "GRADING ONLY". THE CONTRACTOR SHALL REFER TO PREMIER BUILDER'S, INC. DRAWINGS FOR ALL PAVING AND STRUCTURAL DETAILS (CURB & GUTTER, SIDEWALKS, STEPS, HANDRAILS, RETAINING WALLS, ETC...).
11. SEE CIVIL DETAIL SHEET C2.1 FOR MISCELLANEOUS GRADING DETAILS.

SITE NOTES:

1. THIS ENTIRE SITE DOES NOT LIE WITHIN THE 100-YEAR FLOODPLAIN AS GRAPHICALLY DEPICTED BY F.E.M.A. FIRM COMMUNITY PANEL NO. 48041 0133C, WITH AN EFFECTIVE DATE OF JULY 2, 1992.
2. DESIGNATED HANDICAP PARKING SPACES, WALKS & RAMPS SHALL MEET ALL ADA & ANSI STANDARDS.
3. THE TOPOGRAPHICAL AND BOUNDARY SURVEY INFORMATION SHOWN FOR EXISTING CONDITIONS AND USED FOR THE DEVELOPMENT OF PROPOSED IMPROVEMENTS WERE PROVIDED BY GARRETT ENGINEERING & LAND SURVEYING.
4. PROJECT BENCHMARK: "X" CHISELED IN NORTH CORNER OF CURB INLET LOCATED ON VILLIA MARIA NEAR THE NORTHWEST CORNER OF PETE'S EXXON PROPERTY. CONTACT GARRETT ENGINEERING & LAND SURVEYING FOR ELEVATION DATUM INFORMATION.
5. THE CONTRACTOR MAY OBTAIN AN ELECTRONIC COPY OF THE SITE PLAN FOR CONSTRUCTION PURPOSES. THE ELECTRONIC FILE AND INFORMATION GENERATED, BY RABON METCALF ENGINEERING (RME), FOR THIS PROJECT IS CONSIDERED BY RME TO BE CONFIDENTIAL. WHEN ISSUED ITS USE IS INTEND SOLELY FOR THE INDIVIDUAL OR ENTITY TO WHICH IT IS ADDRESSED. DISTRIBUTION OF THIS MATERIAL IS INTENDED FOR USE BY THE RECIPIENT NAMED, ONLY, AND PERMISSION IS NOT GRANTED TO THE RECIPIENT FOR DISTRIBUTION OF THESE DOCUMENTS IN ANY FORM OR FASHION. THE RECIPIENT UNDERSTANDS THAT THIS DATA IS AUTHORIZED "AS IS" WITHOUT ANY WARRANTY AS TO ITS PERFORMANCE, ACCURACY, FREEDOM FROM ERROR, OR AS TO ANY RESULTS GENERATED THROUGH ITS USE. THE RECIPIENT ALSO UNDERSTAND AND AGREES THAT RME, UPON RELEASE OF SUCH DATA, IS NO LONGER RESPONSIBLE FOR THEIR USE OR MODIFICATION. THE USER AND RECIPIENT OF THE ELECTRONIC DATA ACCEPTS FULL RESPONSIBILITY AND LIABILITY FOR ANY CONSEQUENCES ARISING OUT OF THEIR USE.
6. PREMIER BUILDERS, INC. (GENERAL CONTRACTOR) SHALL BE RESPONSIBLE FOR COORDINATING GRADING AND PAVEMENT TRANSITIONS BETWEEN PHASE ONE DEVELOPMENT AND THE EXISTING PETE'S EXXON IMPROVEMENTS. THE PHASE LINE SHOWN IS APPROXIMATE AND ITS EXACT LOCATION SHALL BE DETERMINED BY THE GENERAL CONTRACTOR.

GRADING LEGEND	
	DRAINAGE DIRECTIONAL ARROW
	TOP OF PAVEMENT
	TOP OF CURB OR CONCRETE
	TOP OF WALL
	TOP OF GROUND OR GRATE

PROJECT BENCHMARK:

"X" CHISELED IN NORTH CORNER OF CURB INLET LOCATED ON VILLIA MARIA NEAR THE NORTHWEST CORNER OF PETE'S EXXON PROPERTY. CONTACT GARRETT ENGINEERING & LAND SURVEYING FOR ELEVATION DATUM INFORMATION.

RABON
METCALF
ENGINEERING

POST OFFICE BOX 9253
COLLEGE STATION, TEXAS 77842
EMAIL: rmenginer@verizon.net

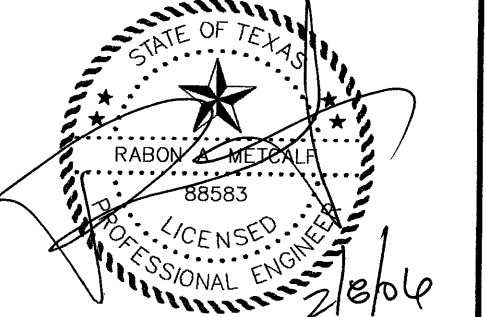
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GARRETT ENGINEERING
4444 CARTER CREEK PKWY
BRYAN, TX 77802

OFF: (979) 846-2688
FAX: (979) 846-3094

**SUBSTANTIALLY
COMPLETE
FOR
CONSTRUCTION
2/8/06**

CONSTRUCTION DRAWINGS
ISSUED PRIOR TO THIS
DATE ARE REPLACED BY
THIS SET & SHOULD NOT
BE USED FOR
CONSTRUCTION.



GRADING PLAN

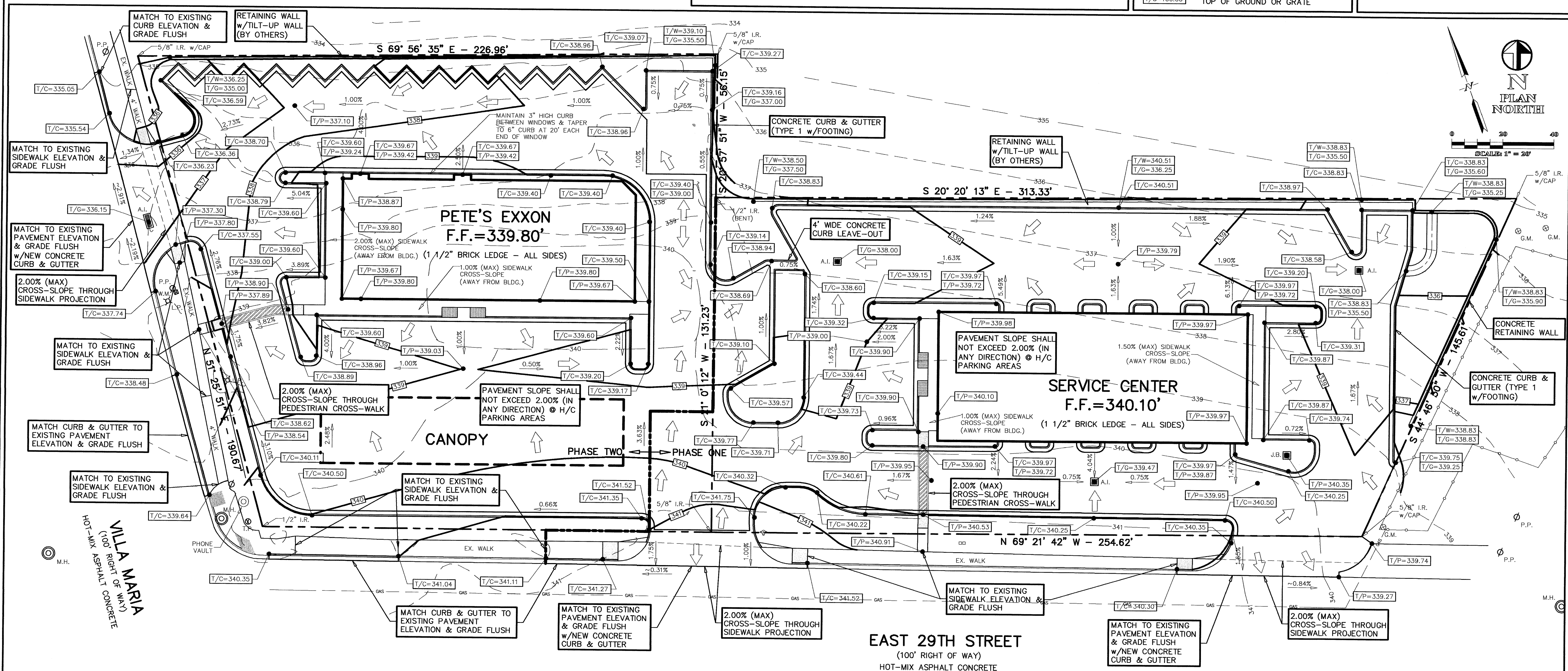
FOR
PETE'S EXXON
2401 EAST 29TH STREET
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PART OF LOT 3, BLOCK ONE - ORESTEY REST HOME SUBDIVISION
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c/o CHARLES TAYLOR, III
2402 BROADMOOR, BLDG. D, STE. 101
BRYAN, TX 77802
OFF: (979) 776-2212
FAX: (979) 776-2214

FILENAME: 02690P1A SCALE: 1" = 20'
CONTRACT DATE: NOV. 11, 2005
DRAWN BY: R.A.M.
CHECKED BY: R.A.M.
FIELD BOOK: N/A PAGES: N/A

RABON METCALF ENGINEERING
CLIENT NO. PROJECT NO.
153 - 0269

C1.1
SHEET NO. 2 OF 5

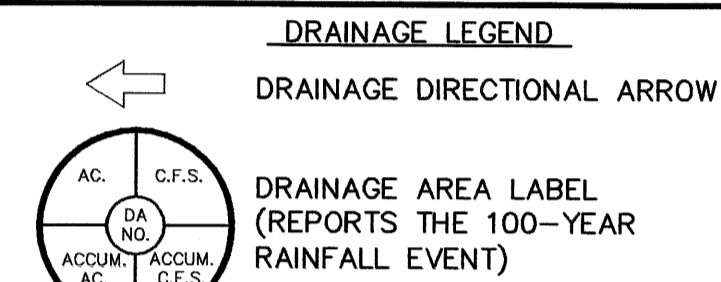


PRIVATE UTILITY NOTES:

1. ALL EXCAVATION FOR UNDERGROUND UTILITIES SHALL BE MADE TRUE TO GRADE SO THAT THE PLUMBING RESTS ON UNDISTURBED EARTH. IF THE ABOVE IS NOT FEASIBLE, OR AT THE CONTRACTOR'S OPTION, EXCAVATION SHALL BE MADE A MINIMUM OF SIX INCHES BELOW THE REQUIRED GRADE TO PROVIDE A SAND BED FOR THE PIPING. BACKFILL OVER PIPING SHALL BE MADE WITH EARTH OR FILL SAND, FREE OF DEBRIS, AND SHALL BE TAMPED BY HAND OR MECHANICAL MEANS TO THE DENSITY OF THE ADJACENT UNDISTURBED EARTH OR TO 95% STANDARD PROCTOR DENSITY (ASTM D698), WHICHEVER IS GREATER. ALL TRENCHING AND EXCAVATION SHALL BE DONE IN STRICT ACCORDANCE WITH CURRENT OSHA REQUIREMENTS AND ALL OTHER APPLICABLE SAFETY CODES AND STANDARDS.
2. MINIMUM BURY OR COVER SPECIFIED IS TO BE MEASURED FROM FINISHED GRADES. WHERE PLUMBING EXTENDS UNDER PAVEMENT, THE BURY OR COVER SHALL BE MEASURED FROM THE BOTTOM OF THE STRUCTURE.
3. UTILITY INSTALLATIONS IN NON-STRUCTURAL AREAS SHALL BE BACKFILLED WITH TYPE "D" BEDDING REQUIREMENTS. IN STRUCTURAL AREAS (UNDER FOUNDATIONS, PAVEMENTS, WALKS, ETC...) THE UTILITIES SHALL BE BACKFILLED WITH CEMENT STABILIZED SAND.
4. REGARDLESS OF ELEVATIONS SHOWN FOR MANHOLE RIMS, CLEAN-OUT COVERS, OR GRATES SHALL BE PLACED FLUSH WITH THE PROPOSED PAVEMENT ELEVATION AND SLOPE. MANHOLES NOT IN PAVEMENT AREAS SHALL BE SET 3" ABOVE THE FINISHED GRADE.
5. CONTRACTOR SHALL UNCOVER EXISTING UTILITIES AT ALL "POINTS OF CROSSING" TO DETERMINE IF CONFLICTS EXIST BEFORE COMMENCING ANY CONSTRUCTION. NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICT.
6. THE CONTRACTOR SHALL COORDINATE ALL UTILITY INSTALLATION SO THAT GRADE CRITICAL ELEMENTS (I.E. STORM DRAIN, SANITARY SEWER, ETC...) DO NOT CONFLICT WITH NON-GRADE CRITICAL ELEMENTS (I.E. ELECTRICAL CONDUIT, WATER SERVICES, ETC...).
7. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, EQUIPMENT, AND LABOR FOR EXCAVATION, INSTALLATION, BACKFILLING OF DRAIN LINES AND RELATED APPURTENANCES AS SHOWN ON THE PLANS.
8. THE LOADING AND UNLOADING OF ALL PIPE AND OTHER ACCESSORIES SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMEND PRACTICES AND SHALL AT ALL TIMES BE PERFORMED WITH CARE TO AVOID ANY DAMAGE TO THE MATERIAL. THE CONTRACTOR SHALL LOCATE AND PROVIDE THE NECESSARY STORAGE AREAS FOR MATERIALS AND EQUIPMENT.
9. PREMIER BUILDERS, INC. (GENERAL CONTRACTOR) SHALL BE RESPONSIBLE FOR COORDINATING DRAINAGE TRANSITIONS BETWEEN PHASE ONE DEVELOPMENT AND THE EXISTING PETE'S EXXON IMPROVEMENTS. THE PHASE LINE SHOWN IS APPROXIMATE AND ITS EXACT LOCATION SHALL BE DETERMINED BY THE GENERAL CONTRACTOR.

STORM SEWER NOTES:

1. ALL PRIVATE 12" - 48" STORM SEWER PIPE, EXCEPT AS NOTED, TO BE CONSTRUCTED OUT OF HDPE (DR 21) PIPE CONFORMING TO ASTM F-714 AND HAVING A MINIMUM PIPE STIFFNESS OF 46.
2. ALL PUBLIC STORM SEWER TO BE REINFORCED CONCRETE PIPE, A.S.T.M. C-76 CLASS III.
3. CONTRACTOR SHALL PROVIDE A MINIMUM OF 12" (TWELVE INCHES) CLEARANCE AT STORM SEWER AND WATER LINE CROSSINGS, AND A MINIMUM OF 12" (TWELVE INCHES) AT STORM SEWER AND SANITARY SEWER CROSSINGS.
4. SEE CIVIL DETAIL SHEET C2.1 FOR MISCELLANEOUS DRAINAGE DETAILS.



PROJECT BENCHMARK:

"X" CHISELED IN NORTH CORNER OF CURB INLET LOCATED ON VILLIA MARIA NEAR THE NORTHWEST CORNER OF PETE'S EXXON PROPERTY. CONTACT GARRETT ENGINEERING & LAND SURVEYING FOR ELEVATION DATUM INFORMATION.

RABON METCALF ENGINEERING

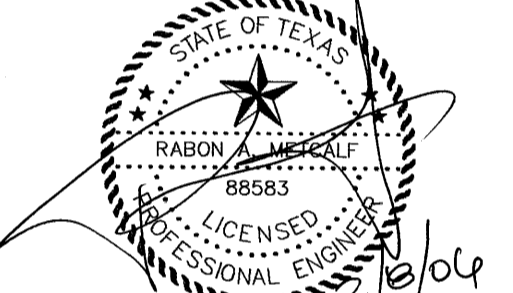
POST OFFICE BOX 9253
COLLEGE STATION, TEXAS 77842
EMAIL: rmenginer@verizon.net

OFFICE - (979) 690-0329
FAX - (979) 690-0329
CELL - (979) 219-4174

GARRETT ENGINEERING
4444 CARTER CREEK PKWY
BRYAN, TX 77802
OFF: (979) 846-2688
FAX: (979) 846-3094

SUBSTANTIALLY COMPLETE FOR CONSTRUCTION 2/8/06

CONSTRUCTION DRAWINGS ISSUED PRIOR TO THIS DATE ARE REPLACED BY THIS SET & SHOULD NOT BE USED FOR CONSTRUCTION.



DRAINAGE PLAN

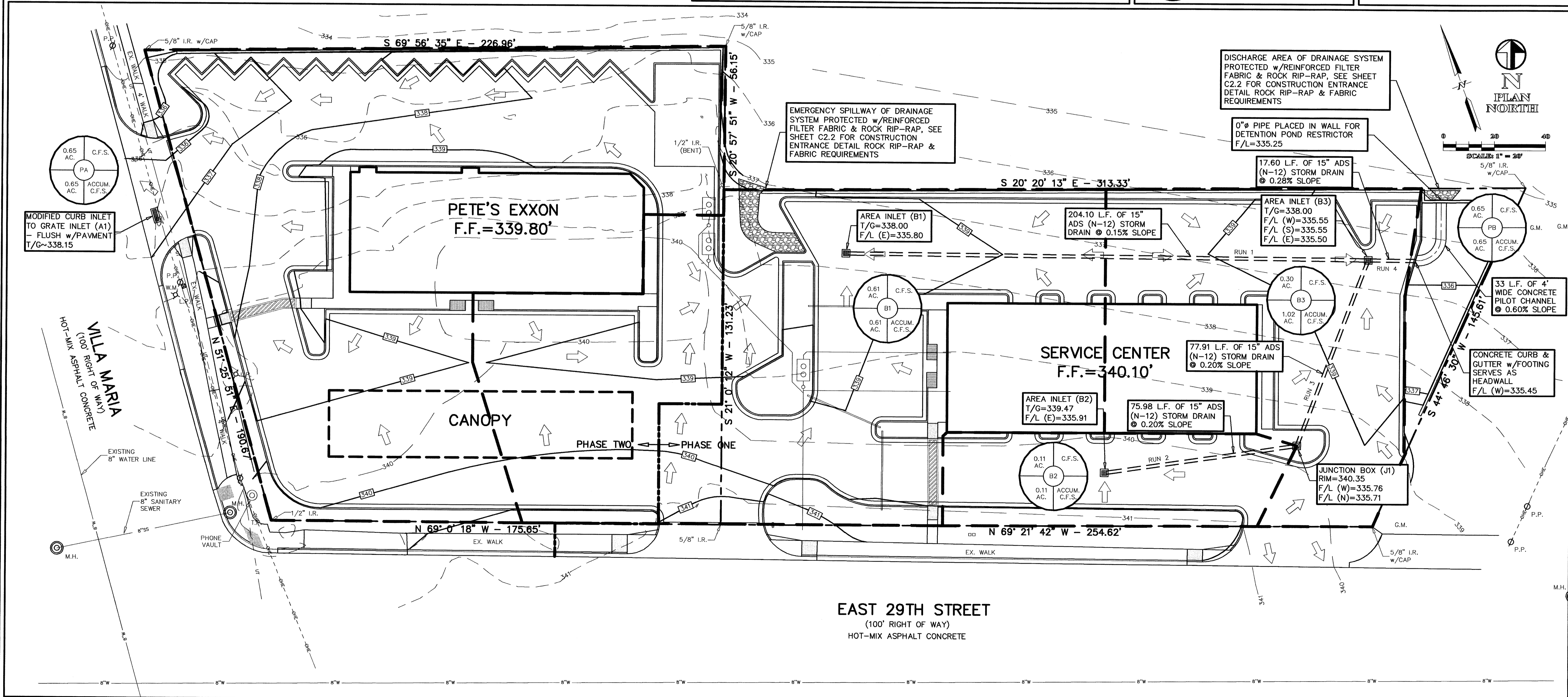
FOR
PETE'S EXXON
2401 EAST 29TH STREET
BRYAN, TEXAS 77803
PART OF LOT 3, BLOCK ONE - CRESTVIEW REST HOME SUBDIVISION AND 0.86 ACRE TRACT (VOL. 1687, PG. 94) BRYAN, BRAZOS COUNTY, TEXAS

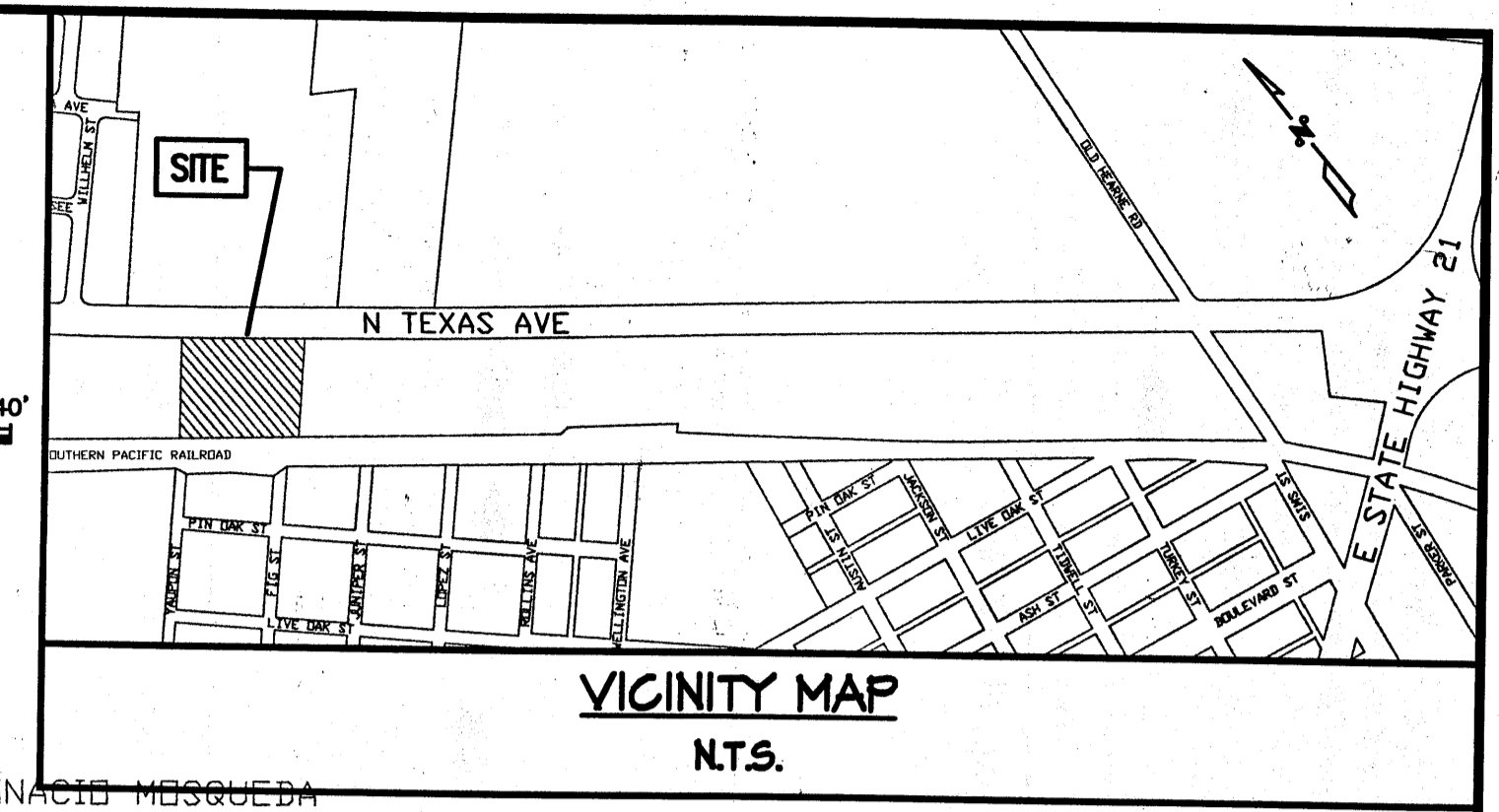
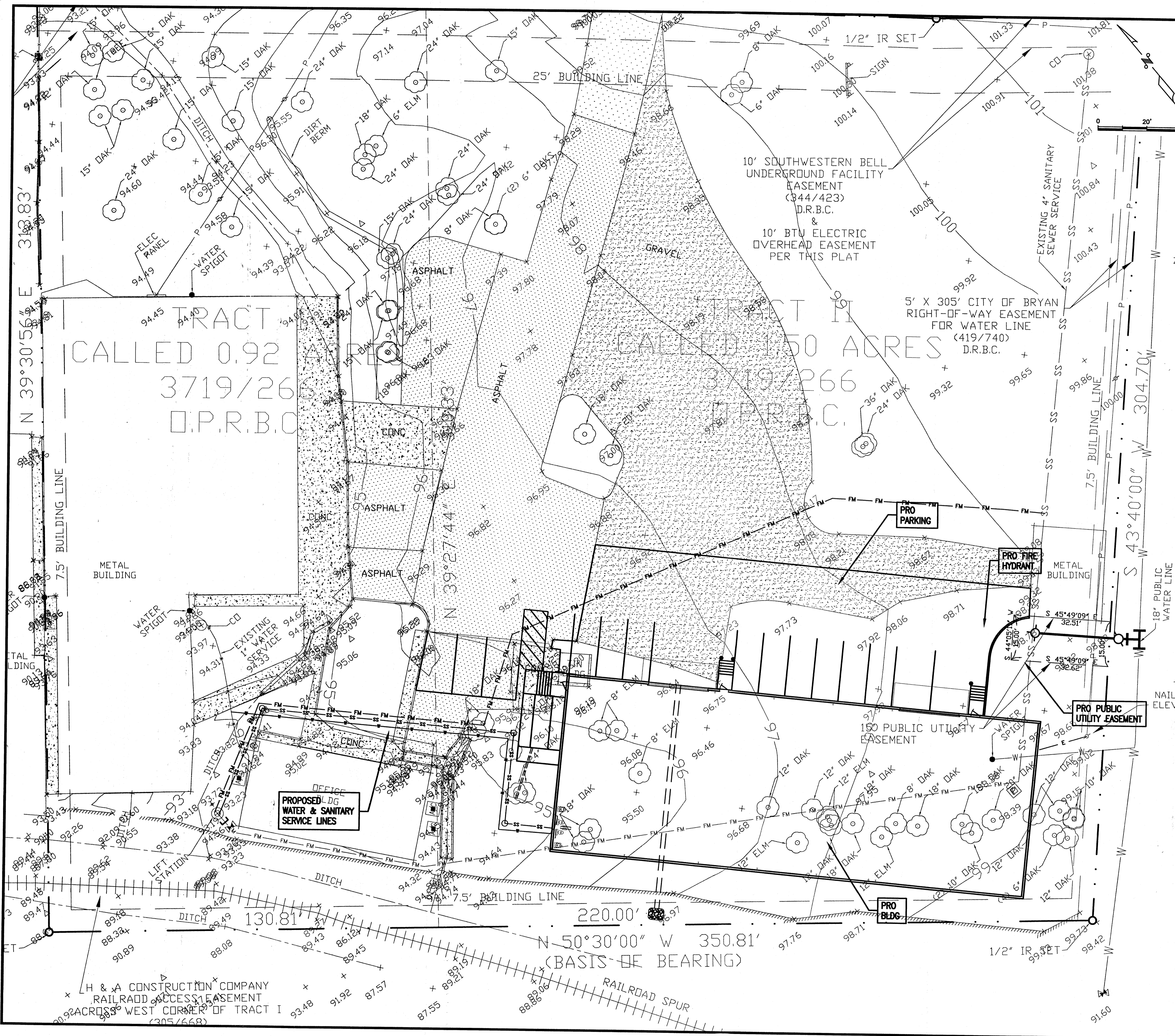
CLIENT INFORMATION
PREMIER BUILDERS, INC.
c/o CHARLES TAYLOR, III
2402 BROADMOOR, BLDG. D, STE. 101
BRYAN, TX 77802
OFF: (979) 776-2212
FAX: (979) 776-2214

FILENAME: 0269DP1A SCALE: 1" = 20'
CONTRACT DATE: NOV. 11, 2005
DRAWN BY: R.A.M.
CHECKED BY: R.A.M.
FIELD BOOK: N/A PAGES: N/A

RABON METCALF ENGINEERING
CLIENT NO. PROJECT NO.
153 - 0269

C1.2
SHEET NO. 3 OF 5





IGNACIO MESSUEBA
1.40 ACRES
3436/237
D.P.R.B.C.
LEGAL DESCRIPTION:
0.92 ACRE (TRACT I) AND 1.50 ACRES (TRACT II) IN STEPHEN F. AUSTIN LEAGUES 9 & 10, ABSTRACT NOS. 62 & 63, BRYAN, BRAZOS COUNTY, TEXAS AS DESCRIBED IN VOLUME 3719, PAGE 266 OF THE OFFICIAL PUBLIC RECORDS OF BRAZOS COUNTY, TEXAS.

SURVEYED:
NOVEMBER 7, 2005 BY
JOHN E. PLEDGER, III,
RPLS NO. 2183
1500 S. DAY ST.
BRENNHAM, TEXAS 77833

ZONED:
I - INDUSTRIAL

NOTES:
THERE EXISTS AN UNLOCATABLE 10' RIGHT-OF-WAY EASEMENT TO THE CITY OF BRYAN ACROSS BOTH TRACTS RECORDED IN VOLUME 100, PAGE 234 (D.R.B.C.) FOR PUBLIC UTILITIES.

THIS PROPERTY DOES NOT APPEAR TO LIE WITHIN A 100-YR FLOOD PLAIN BASED ON FEMA COMMUNITY PANEL NO. 480082 0004 B DATED MAY 19, 1981.

EXISTING BUILDINGS ENCRDACH SIDE LOT BUILDING SETBACKS AS OUTLINED IN THE SITE DEVELOPMENT REVIEW ORDINANCE, ARTICLE IV, DIVISION 1, SECTION 20-56.

WEATHERFORD ADDITION PRELIMINARY PLAN 2.562 ACRES

FEBRUARY 8, 2006

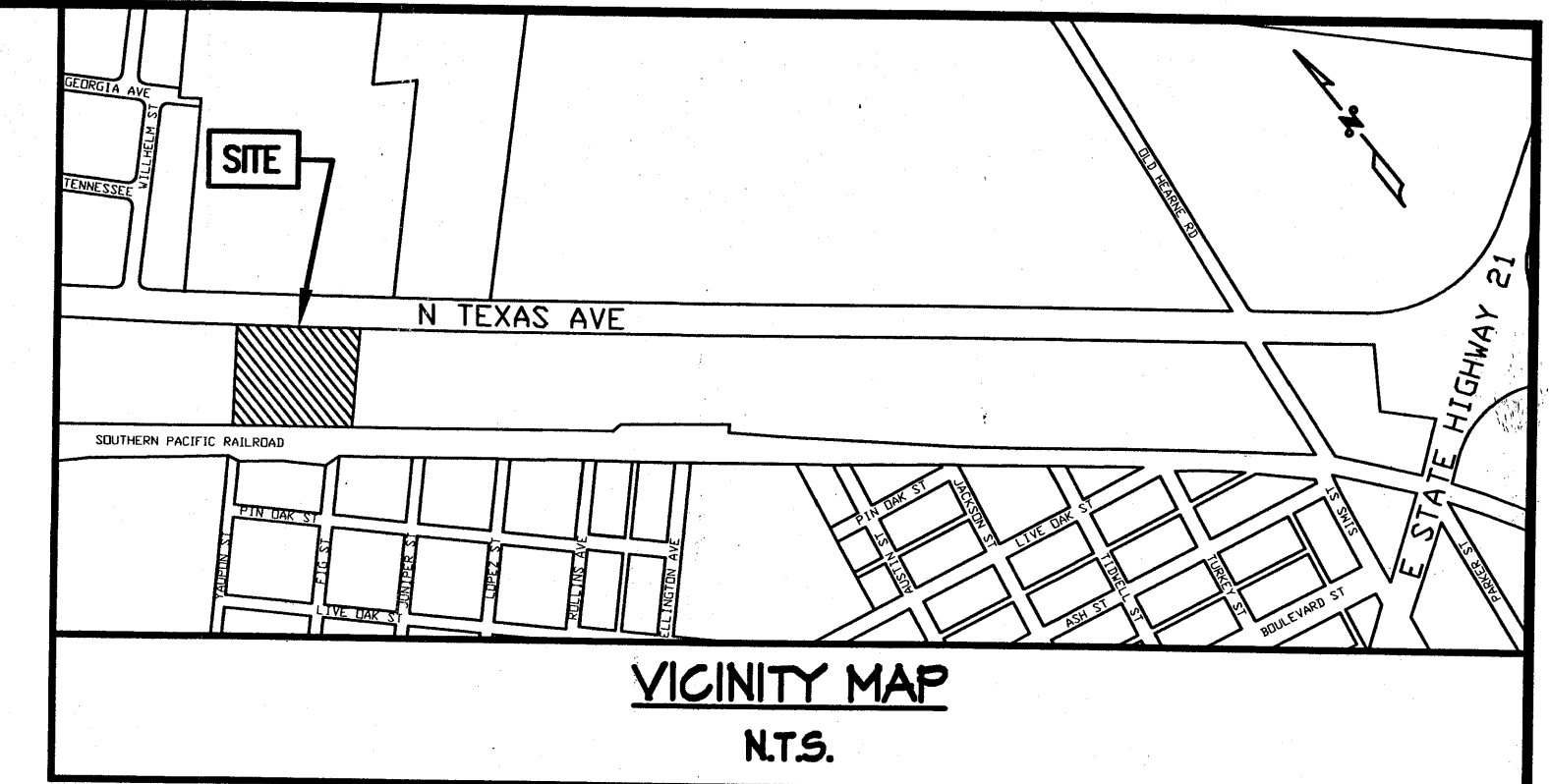
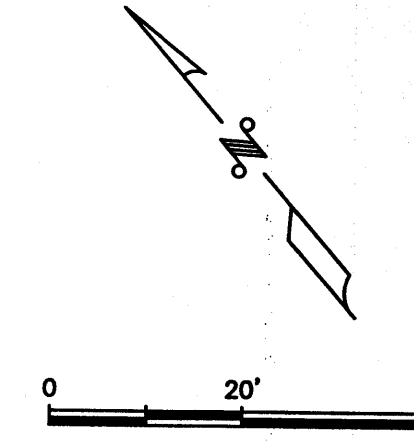
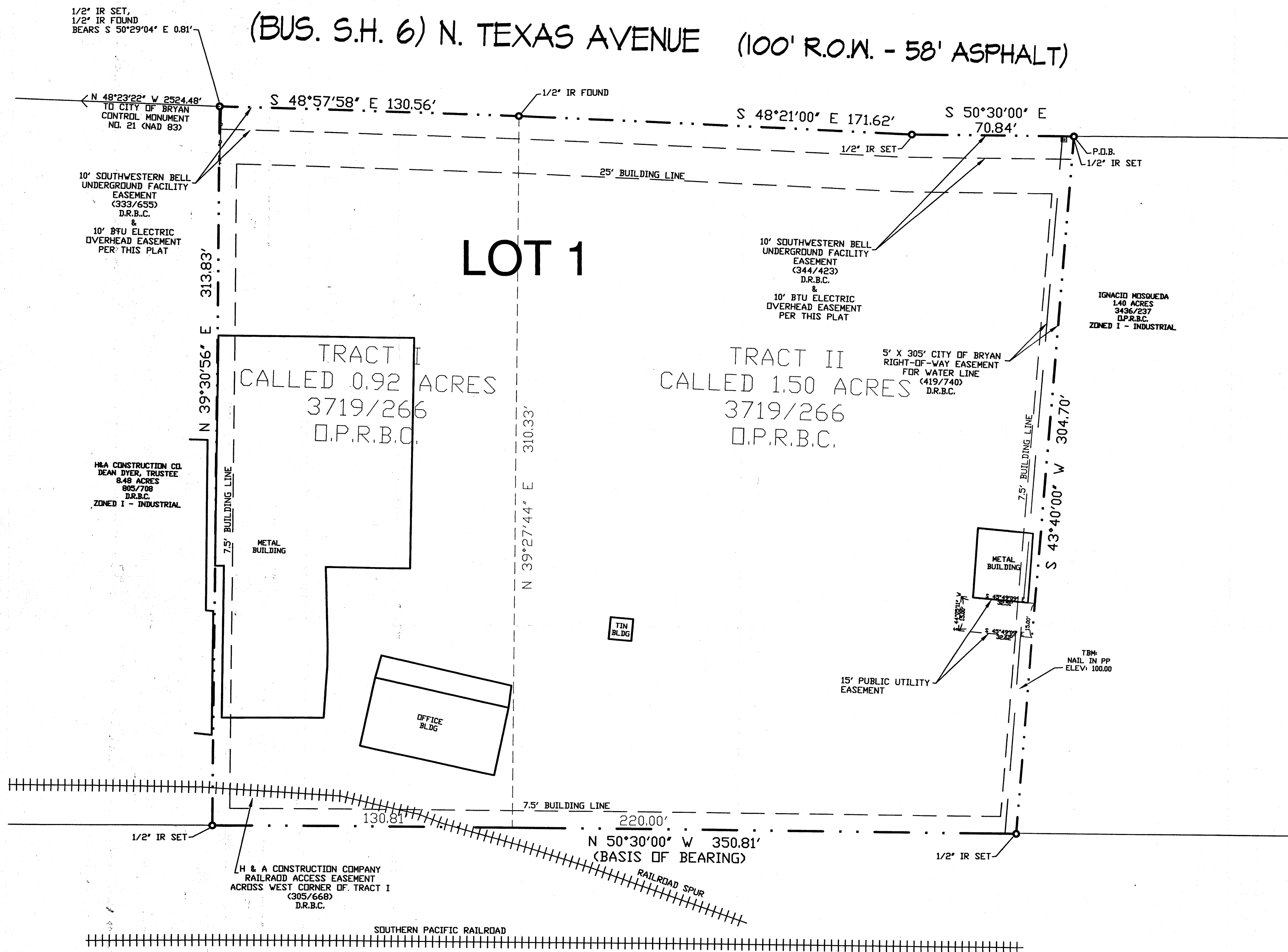
PROPERTY OWNER: WEATHERFORD DOOR CO., INC. &
RONALD W. WEATHERFORD
2700 N. TEXAS AVE.
BRYAN, TEXAS 77803

THIS DRAWING IS RELEASED
FOR THE PURPOSE OF:
SDRC #3
2-8-06
UNDER THE AUTHORITY OF
STEVE E. DUNCAN, P.E. 63252
IT IS NOT TO BE USED FOR
CONSTRUCTION, BIDDING, OR
PERMITTING PURPOSES.

P

K

Pledger Kalkomey, Inc.
Consulting Engineers
7020 Coyote Run • Bryan, Texas 77808
979-731-8000 • 979-731-1500 (Fax)
www.pkengineering.com
Brenham • Bryan • Rosenberg



LEGAL DESCRIPTION:
0.92 ACRE (TRACT I) AND 1.50 ACRES (TRACT II) IN STEPHEN F. AUSTIN LEAGUES 9 & 10, ABSTRACT NOS. 62 & 63, BRYAN, BRAZOS COUNTY, TEXAS AS DESCRIBED IN VOLUME 3719, PAGE 266 OF THE OFFICIAL PUBLIC RECORDS OF BRAZOS COUNTY, TEXAS.

SURVEYED:
NOVEMBER 7, 2005 BY
JOHN E. PLEDGER, III,
RPLS NO. 2183
1500 S. DAY ST.
BRENNHAM, TEXAS 77833

ZONED:
I - INDUSTRIAL

METES AND BOUNDS:
ALL THAT CERTAIN TRACT OR PARCEL OF LAND, lying and being situated in both the Stephen F. Austin League No. 9, A-62 and the Stephen F. Austin League No. 10, A-63, Bryan, Brazos County, Texas and being all of the land described as Tracts I and II in a deed to Weatherford Door Co., Inc and Ronald W. Weatherford recorded in Volume 3719, Page 266 of the Official Public Records of Brazos County, Texas (D.P.R.B.C.) and being more particularly described as follows:

BEGINNING at a 1/2" iron rod set in the southwest line of Business S.H. 6 (N. Texas Ave.) for the east corner of this tract, also being the east corner of the said Tract II, also being the north corner of the Ignacio M. Mosqueda 1.40-acre tract as recorded in Volume 3436, Page 237 (D.P.R.B.C.);

THENCE along the southeast line of this tract S 43°40'00" W, 304.70 feet to a 1/2" iron rod set for the south corner of this tract, also being the west corner of the said Mosqueda tract, also lying in the northeast line of the Southern Pacific Railroad;

THENCE along the northeast line of the said railroad N 50°30'00" W, 220.00 feet to a 1/2" iron rod set at the west corner of the said Tract II and the south corner of the said Tract I;

THENCE continuing along the northeast line of the said railroad N 50°30'00" W, 130.81 feet to a 1/2" iron rod set for the west corner of this tract, also being the west corner of the said Tract I, also being the south corner of the H. & A. Construction Co. 5.436-acre Tract One as recorded in Volume 805, Page 708 of the Deed Records of Brazos County, Texas;

THENCE along the northwest line of this tract N 39°30'56" E, 313.83 feet to a 1/2" iron rod set for the north corner of this tract, also being the north corner of the said Tract I, also being the east corner of the said H. & A. Construction tract, also lying in the southwest line of Business 6, a found 1/2" iron rod bears S 50°29'04" E, 0.81 feet;

THENCE along the southwest line of Business 6 S 48°57'58" E, 130.56 feet to a 1/2" iron rod found at the east corner of the said Tract I and the north corner of the said Tract II;

THENCE continuing along the southwest line of Business 6 S 48°21'00" E, 171.62 feet to a 1/2" iron rod set for an angle point in the northeast line of this tract;

THENCE continuing along the southwest line of Business 6 S 50°30'00" E, 70.84 feet to the PLACE OF BEGINNING containing 2.562 acres.

NOTES:
THERE EXISTS AN UNLOCATABLE 10' RIGHT-OF-WAY EASEMENT TO THE CITY OF BRYAN ACROSS BOTH TRACTS RECORDED IN VOLUME 100, PAGE 234 (D.R.B.C.) FOR PUBLIC UTILITIES.

THIS PROPERTY DOES NOT APPEAR TO LIE WITHIN A 100-YR FLOOD PLAIN BASED ON FEMA COMMUNITY PANEL NO. 480082 0004 B DATED MAY 19, 1981.

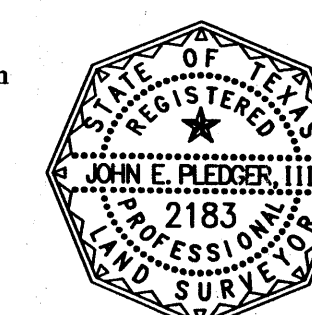
EXISTING BUILDINGS ENCRDACH SIDE LOT BUILDING SETBACKS AS OUTLINED IN THE SITE DEVELOPMENT REVIEW ORDINANCE, ARTICLE IV, DIVISION 1, SECTION 20-56.

WEATHERFORD ADDITION FINAL PLAT

2.562 ACRES

FEBRUARY 8, 2006

PROPERTY OWNER: WEATHERFORD DOOR CO., INC. &
RONALD W. WEATHERFORD
2700 N. TEXAS AVE.
BRYAN, TEXAS 77803



CERTIFICATION OF THE SURVEYOR
(STATE OF TEXAS)
(COUNTY OF BRAZOS)

I, John E. Pledger, III, Registered Professional Land Surveyor No. 2183 in the State of Texas, hereby certify that this plat is true and correct and was prepared from an actual survey of the property and that property markers and monuments were placed under my supervision on the ground, and that the metes and bounds describing said subdivision will describe a closed geometric form.

Registered Professional Land Surveyor

CERTIFICATION OF OWNERSHIP AND DEDICATION

(STATE OF TEXAS)
(COUNTY OF BRAZOS)

I (We), _____, the owner(s) and developer(s) of the land shown on this plat, being Tracts I and II as conveyed to me (us, it) in the Official Public Records of Brazos County in Volume 3719, Page 266, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places shown hereon for the purposes identified.

(STATE OF TEXAS)
(COUNTY OF BRAZOS)

Before me, the undersigned authority, on this day personally appeared _____ known to me to be the person(s) whose name(s) is/are subscribed to the foregoing instrument, and acknowledged to me that he/they executed the same for the purpose stated.

Given under my hand and seal of office this _____ day of _____, 20____.

Notary Public, Brazos County, Texas

APPROVAL OF THE CITY ENGINEER

I, the undersigned, City Engineer of the City of Bryan, hereby certify that this plat is in compliance with the appropriate codes and ordinances of the City of Bryan and was approved on the _____ day of _____, 20____.

City Engineer, Bryan, Texas

CERTIFICATION BY THE COUNTY CLERK

(STATE OF TEXAS)
(COUNTY OF BRAZOS)

I, _____, County Clerk in and for Brazos County do hereby certify that this plat together with its certificates of authentication was filed for record in my office the _____ day of _____, 20____, in the Official Public Records of Brazos County, Texas in Volume _____, Page _____.

WITNESS my hand and official seal, at my office in Bryan, Texas.

County Clerk
Brazos County, Texas

APPROVAL OF THE PLANNING AND ZONING COMMISSION

I, _____, Chairman of the Planning and Zoning Commission of the City of Bryan, State of Texas, hereby certify that the attached plat was duly filed for approval with the Planning & Zoning Commission of the City of Bryan on the _____ day of _____, 20____ and same was duly approved on the _____ day of _____, 20____ by said Commission.

Chairman, Planning & Zoning Commission
Bryan, Texas

APPROVAL OF THE CITY PLANNER

I, the undersigned, City Planner and/or designated Secretary of the Planning & Zoning commission of the City of Bryan, hereby certify that this plat is in compliance with the appropriate codes and ordinances of the City of Bryan and was approved on the _____ day of _____, 20____.

City Planner, Bryan, Texas

Received

FEB 8 2006

Development & Engineering
Services

Pledger Kalkomey, Inc.
Consulting Engineers
7020 Coyote Run • Bryan, Texas 77808
979-731-8000 • 979-731-1500 (Fax)
www.pkengineering.com
Brenham • Bryan • Rosenberg

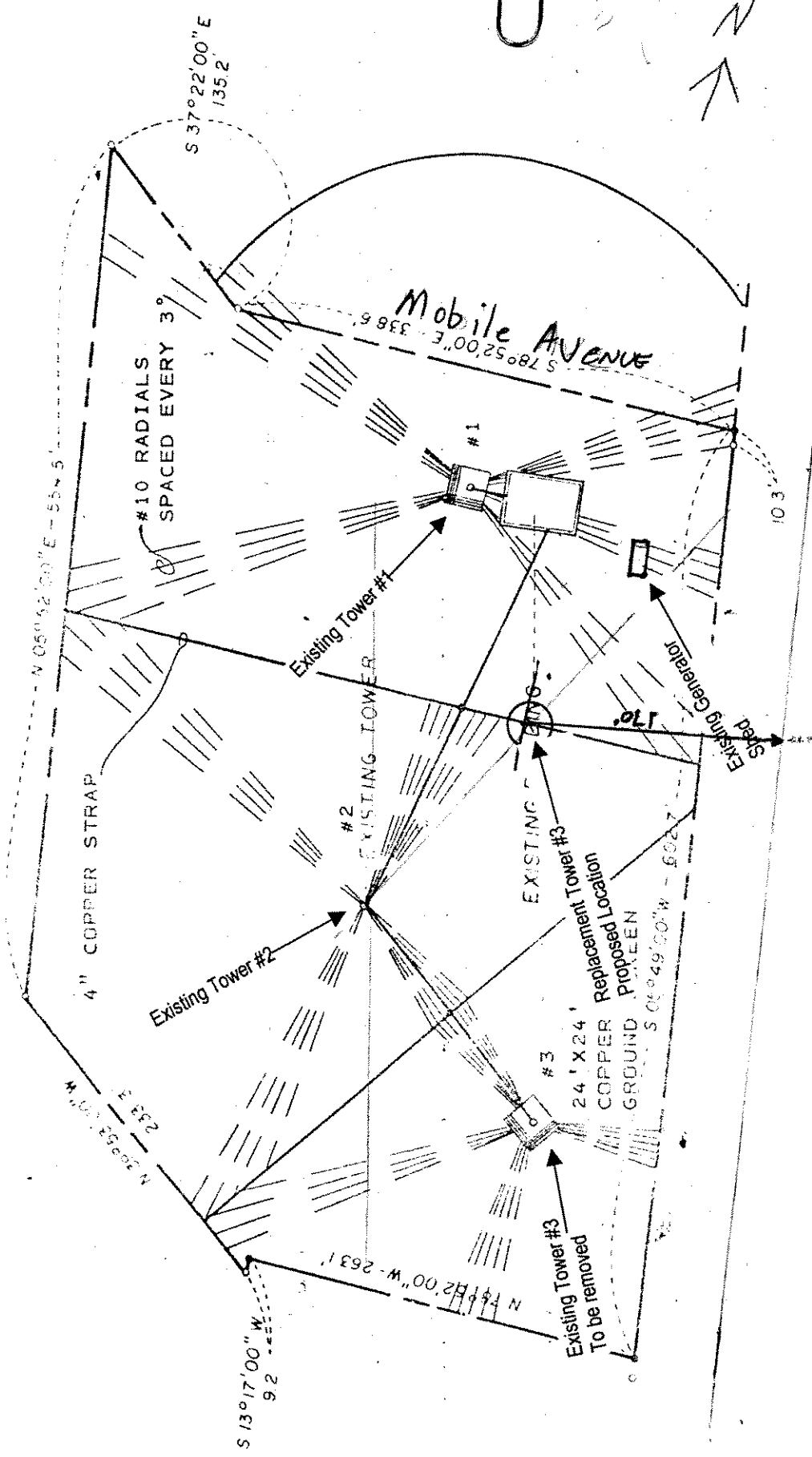
FP05-29 #2

SP 06-02 #2

FIGURE 2

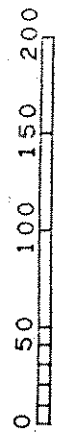
PLOT PLAN

RADIO BRYAN, INC.
COLLEGE STATION, TEXAS

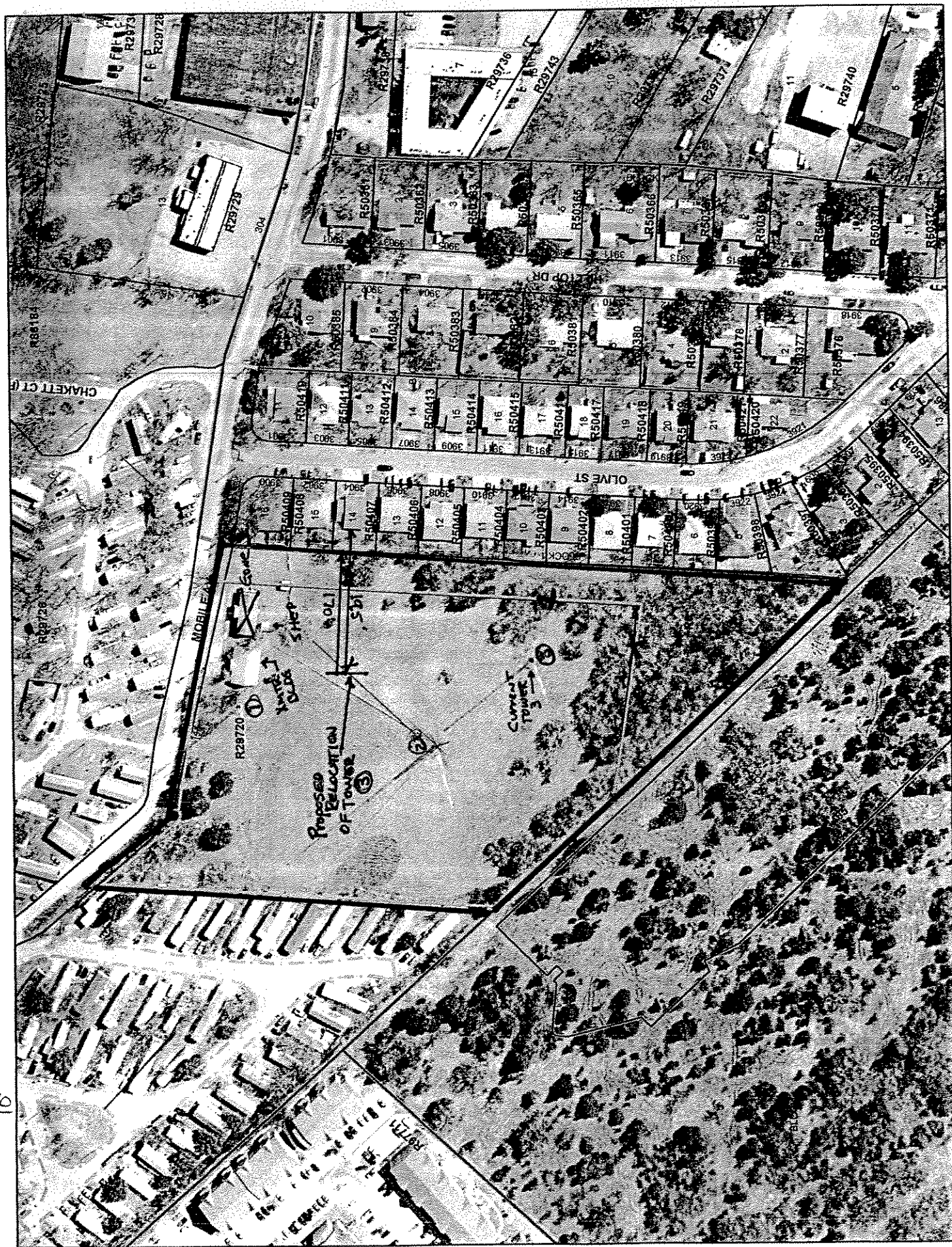


TRUE NORTH AS DETERMINED BY OBSERVATION ON POLARIS FEB 13, 1976

SCALE: 1"=100'



BASE MAP BY HOLLIGAN ENGINEERING
BRYAN, TEXAS



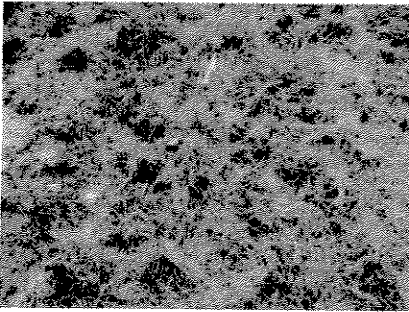
Gas Line testing at 146 Mobile Avenue



Atmos mark showing clear at edge of property. This was from the recall check of 1/26/2006.



Photo showing location of Atmos edge-of-property flag.



Original Atmos clear marker from test conducted during the week of December 3, 2005. Faded but still visible on site.

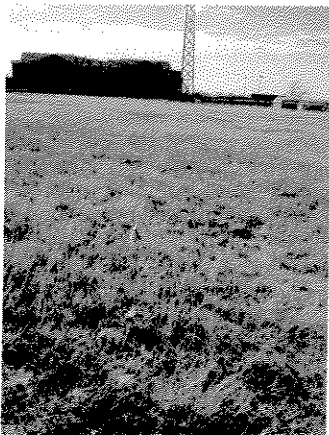
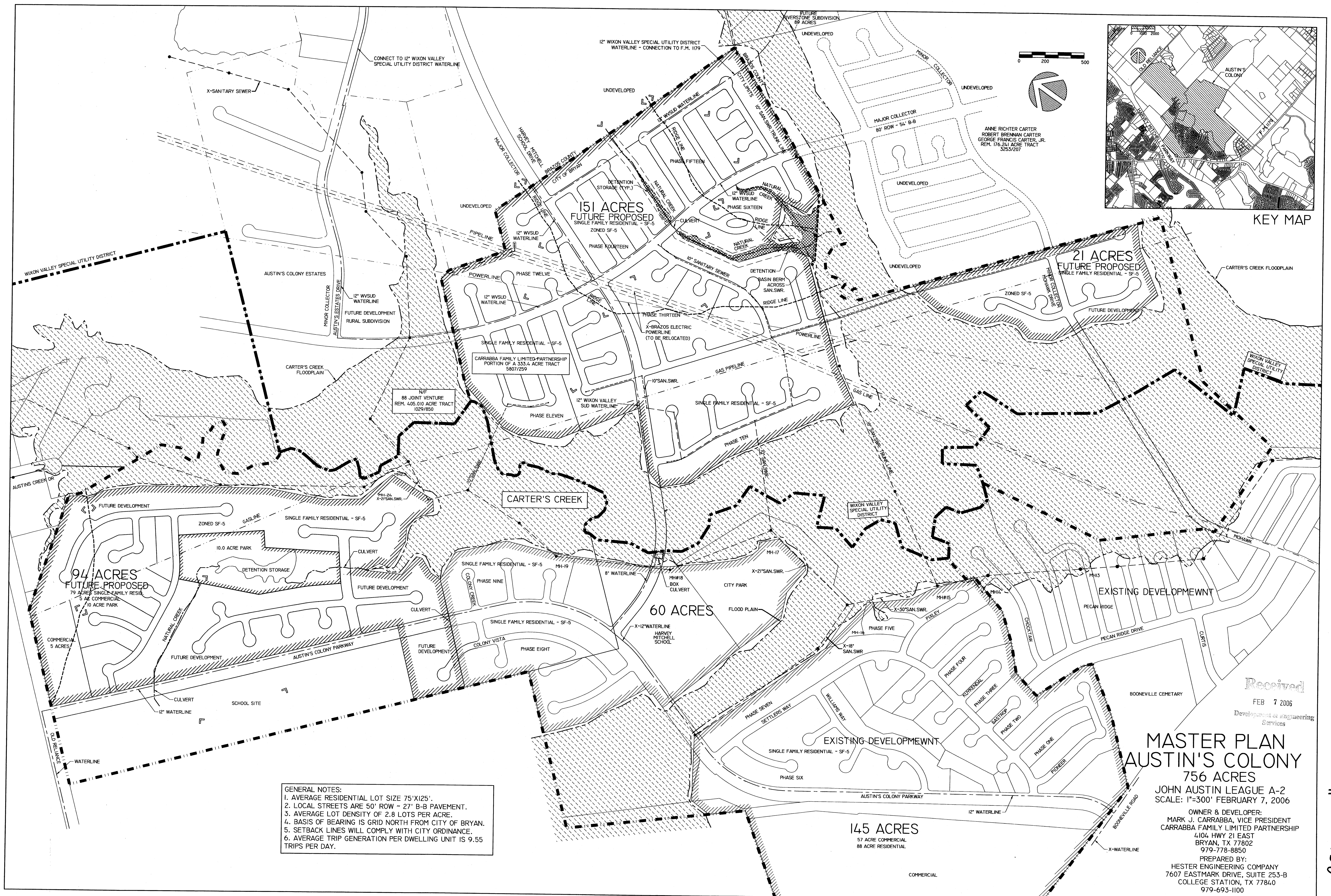
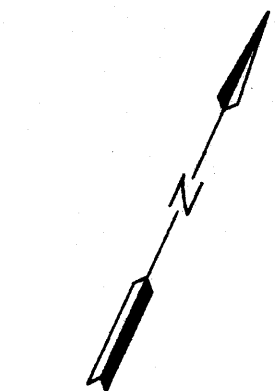


Photo showing location of Atmos original test site.

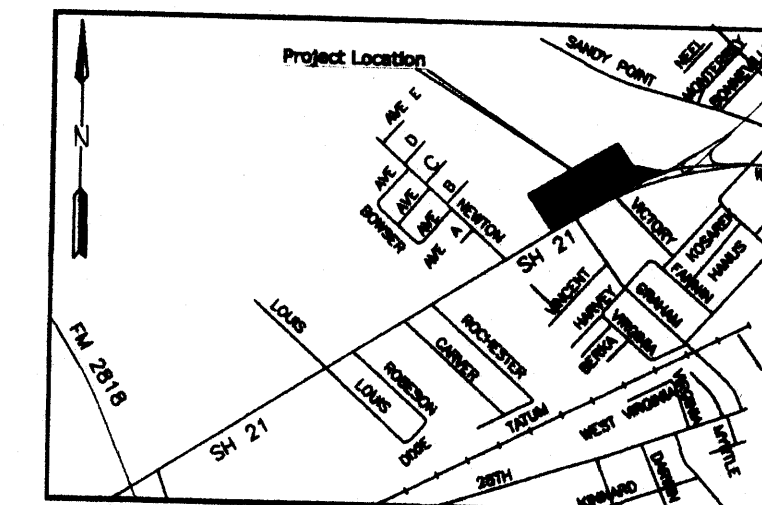
Because of the discrepancy between the Atmos records and the City records we will call Dig-Tess again and request they check the specific location of our foundation upon request approval.



MP06-01 #2



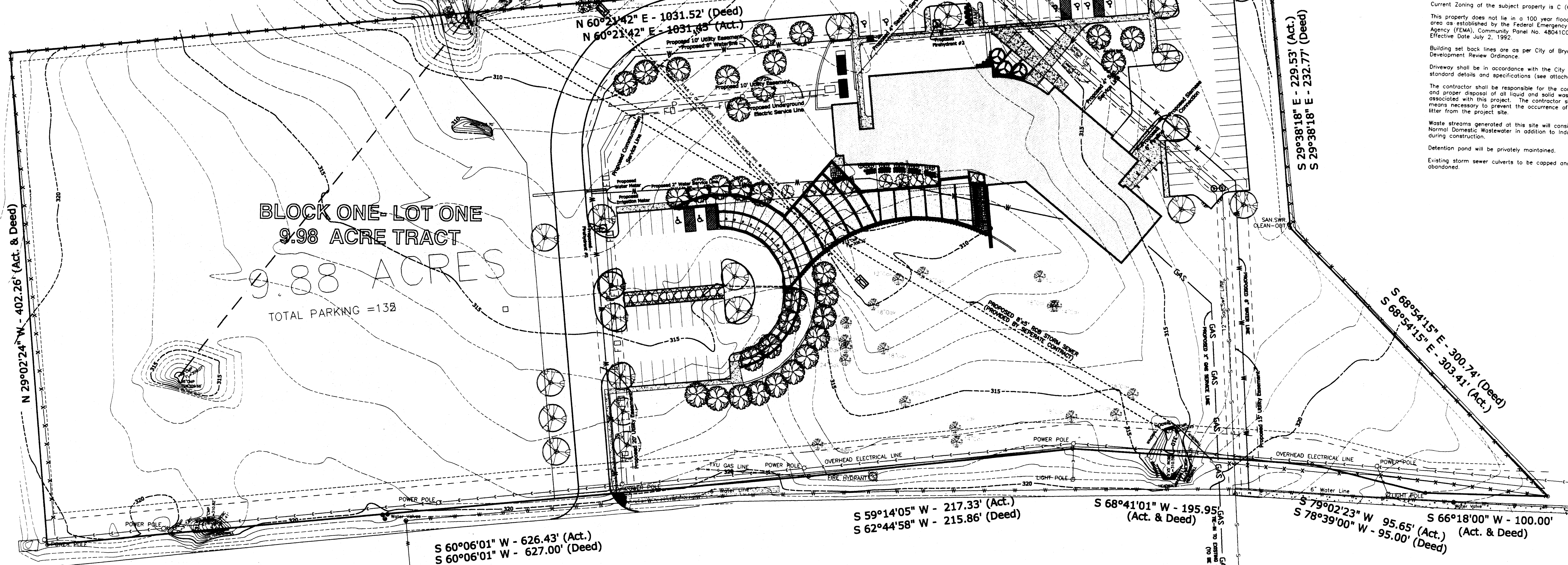
SCALE: 1" = 40'



VICINITY MAP
- N.T.S. -

GENERAL NOTES

- Deed Bearing used as the Basis of Bearing.
- Current Zoning of the subject property is C (Commercial).
- This property does not lie in a 100 year flood hazard area as established by the Federal Emergency Management Agency (FEMA), Community Panel No. 48041C0133 C, Effective Date July 2, 1992.
- Building set back lines are as per City of Bryan Site Development Review Ordinance.
- Driveway shall be in accordance with the City of Bryan standard details and specifications (see attached detail).
- The contractor shall be responsible for the containment and proper disposal of all liquid and solid waste associated with this project. The contractor shall use all means necessary to prevent the occurrence of wind blown litter from the project site.
- Waste streams generated at this site will consist of Normal Domestic Wastewater in addition to Industrial Waste during construction.
- Detention pond will be privately maintained.
- Existing storm sewer culverts to be capped and abandoned.



NOTE:
Distance to the centerline of nearest driveway from the southwest property corner is 60 feet.

NOTE:
Grading plan will be submitted separately.

SOLID WASTE DISPOSAL

Solid waste disposal is by two (2) units of front loading metal containers placed on 6" thick 20'x12' concrete dumpster pad. The pad shall have 6' visual screen on three sides.

PARKING ANALYSIS

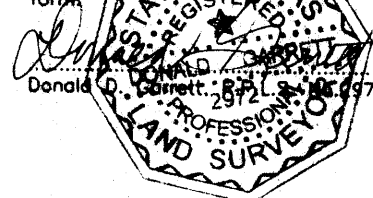
Minimum parking requirement for General Office = 1 per 300 sq.ft. of gfa
Total floor area for the proposed building = 28,407 sq.ft.
Number of parking spaces required = 28,407/300 = 95
Number of handicap accessible parking spaces required = 1 for each 25 spaces = 95/25 = 4

Total number of parking spaces provided = 132
Number of handicap accessible parking spaces provided = 8
Number of regular parking spaces provided = 124
Proposed driveway and parking areas to be concrete pavement.

1700 STATE HIGHWAY NO. 21
(100' R.O.W. Width - 60' Asphalt Pavement Width)

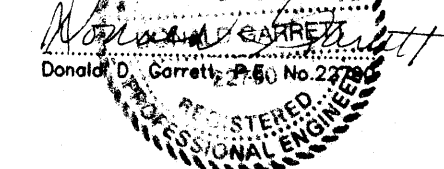
CERTIFICATE OF THE SURVEYOR

I, Donald D. Garrett, Registered Professional Land Surveyor No. 2972 in the State of Texas, hereby certify that this plot is true and correct and was prepared from an actual survey of the property made under my personal supervision and that the metes and bounds thereon are true and correct and that the metes and bounds thereon will describe a closed geometric figure.



CERTIFICATE OF THE ENGINEER

I, Donald D. Garrett, Registered Professional Engineer No. 22790, in the State of Texas, hereby certify that proper engineering consideration has been given to this plot.



Prepared For:

WIGINTON HOOKER JEFFERY ARCHITECTS
9898 Skillman Street, Suite 255
Dallas, Texas 75243
Tel: (214) 349-5558
Fax: (214) 349-2522

Owner:

BRAZOS COUNTY OF STATE OF TEXAS
C/O Judge Randy Sims
300 E. 26th Street, Suite 114
Bryan, Texas 77803
Tel: (979) 361-4102
Fax: (979) 361-4503

Site Address:

1700 State Highway 21 West
Bryan, Texas 77803

Site Plan & Utility Plan

for
BRAZOS COUNTY
SHERIFF'S OFFICE

BLOCK ONE-LOT ONE
BRAZOS COUNTY COMPLEX PH.III
9.98 ACRE TRACT

Volume 6458 Page 44
Stephen F. Austin League No. 9, A-62
Bryan, Brazos County, Texas



SP05-09 #2